

201-15

395021

watsonarchitects
design sustain conserve



CONSERVATION ASSESSMENT REPORT

**PLUMB'S CHAMBERS
82 & 84 FITZROY ST
WARWICK**



000099

CONSERVATION ASSESSMENT REPORT

**PLUMB'S CHAMBERS
82 & 84 FITZROY ST
WARWICK**

**For
The McConaghy Group**

**Prepared by Watson Architects
July 2008**

071001-6.6

**© Copyright Watson Architects Pty Ltd 2008
ABN 34 124 016 502**

CONTENTS

1.	Introduction	3
1.1.	Scope	
1.2.	Methodology	
2.	Assessment of Existing Fabric	5
2.1.	Scope of analysis	
2.2.	82 Fitzroy	
2.2.1.	Description	
2.2.2.	Noticeable Changes Over Time	
2.2.3.	Analysis of Existing Fabric	
2.2.4.	Integrity of Fabric	
2.3.	84 Fitzroy	
2.3.1.	Description	
2.3.2.	Noticeable Changes Over Time	
2.3.3.	Analysis of Existing Fabric	
2.3.4.	Integrity of Fabric	
3.	Assessment of Significance	24
3.1.	Assessing Significance	
3.2.	Other assessments	
3.3.	Summary Statement of Significance	
3.4.	Relative Significance of the fabric	
4.	Conservation / Development Strategies	35
4.1.	Client's requirements	
4.2.	Required Conservation / Stabilisation Measures	
4.2.1.	82 Fitzroy St	
4.2.2.	84 Fitzroy St	
4.3.	Retention / Development Options	
4.4.	Conclusion	
5.	Conservation Policy	41
5.1.	General Approach	
5.2.	Client's Requirements	
5.3.	External requirements - Legislation	
5.4.	Interpretation and retention	
5.5.	Control of Intervention	
5.6.	Care of Fabric	
5.7.	Provision of building services	
5.8.	Setting and landscape	
5.9.	Management	
6.	Conclusion	59
	Appendices	
1.	QLD Heritage Register Entry	
2.	Structural Engineer's Report	
3.	Qld Act Assessment Criteria	
4.	Burra Charter Definitions	
5.	HEROC Website excerpt on access	
6.	As existing Drawings – 84 Fitzroy St	

1.0 INTRODUCTION

1.1 Scope

This report has been commissioned by the McConaghy Group as an architectural conservation assessment for the subject buildings known as Plumb's Chambers at 82 & 84 Fitzroy Street Warwick. This report forms part of their development proposal for the expansion of the existing Shopping Centre known as Rose City Shopping World.

The development proposal includes the purchase of the two subject buildings as part of the expansion of the shopping centre. The development proposal would include the demolition of 82 Fitzroy Street and the partial demolition, retention and conservation of 84 Fitzroy St. The retained and conserved building (84 Fitzroy St) would remain associated with the shopping centre development.

Plumb's Chambers are currently listed on the Queensland Heritage Register. The aim of this report is to assist the developer and the Environmental Protection Agency (EPA) in understanding the cultural heritage significance of the heritage-listed buildings, their current physical condition and the implications of the proposal for the two buildings.

This report includes an assessment into the extent of change and current condition of the buildings' fabric. The report addresses:

- an analysis of the existing fabric (condition survey)
- an assessment of the significance of the buildings and review of the EPA statements of significance
- an assessment of the relative significance of the principle building elements
- a review of the options for conservation and redevelopment related to the conservation and heritage significance of the buildings
- discussion on the issue of "no prudent or feasible alternative" in relation to the two buildings.
- development of conservation policy to guide the adopted conservation outcome

A development application for the above proposal has been lodged with the local authority and this report is to also form a response to the EPA's information request related to the proposal.

1.2 Methodology

During the formulation of this report, liaison with the Warwick Shire Council, the Client and the EPA was undertaken.

The assessment includes:

1. A review of the Qld Heritage Register citation. A copy of the citation is located in Appendix 1.
2. An inspection of the interior and exterior of the buildings with particular reference to aspects raised in the EPA Information request. The inspection was limited to a visual inspection only with no removal of fabric.
3. An assessment of the extent of remaining original fabric and the extent of change and/or deterioration of the fabric.
4. Formulating an opinion on whether the extent of change, deterioration or loss of fabric impacts on the cultural significance of the buildings such that their conservation becomes untenable.

The report is prepared in accordance with the principles set out in the Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (the Burra Charter) and the guidelines to the Burra Charter.

2.0 ASSESSMENT OF EXISTING FABRIC

2.1 Scope of Assessment

An investigation of the physical fabric of the buildings was undertaken in February 2008 to assess the existing condition and the extent to which early fabric survives. The investigation was informed by the structural report prepared for the client by Farr Engineers Associates Pty Ltd, July 2007.¹ A copy is attached in Appendix 2.

The investigation was restricted to visual inspections only with no removal of fabric. Access to the following areas of the buildings was not achieved either due to secured rooms/spaces or for safety concerns:

82 Fitzroy St

- Front room of the eastern-most shop.
- Rearmost room of the eastern shop tenancy
- Outbuildings

84 Fitzroy St

- South-eastern room in single storey skillion-roofed service wing

2.2 82 Fitzroy

The building is thought to have been constructed circa 1860-1872. It is noted as having brick extensions at the rear. Photographic evidence indicates several structures on the site circa 1872,² however it has not been formally established that these structures are part of the present brick and timber building. A later photograph (c.1899) indicates the present two-storey brick and timber building on the site.³

The site was bought by Frederick Hudson in 1866 and owned by Mrs Margaret Hudson from 1866 to 1876. From 1876 to 1910 it was owned by Charles Joseph Isambert and his family who operated a wine and spirit business from the current building. In 1910 the building and the adjoining 84 Fitzroy St were bought by James Wilson. In 1914 the two buildings were acquired by James Plumb and it was at this period the buildings became known as Plumb's Chambers.⁴

2.2.1 Description

The building is a small two storey brick and timber building with a two storey timber verandah. Refer Figure 1. The ground floor of the building comprises two shop tenancies which are separated by an internal



Figure 1

¹ Farr Engineers Associates Pty Ltd *Inspection Properties 82 & 84 Fitzroy St Warwick* 9 July 2007

² EPA Heritage Register Entry 601725, Plumb's Chambers

³ *ibid*

⁴ *ibid*

masonry wall. The small upper floor component contains a small residence and is timber framed and clad. The rear of the building comprises two equal-length brick single storey structures with gable roofs forming a long box gutter. Refer Figure 2. The upper floor features a hipped corrugated iron roof with a detached skillion roof over the verandah. It is considered that the upper level is a later addition to the building. The rear elevation features a twin gable roof form with a corrugated skillion awning on the rear elevation. Each tenancy has a brick chimney on its outer wall.

The site also includes a small timber toilet block with a curved corrugated roof and a gabled timber shed at the rear of the property.

The ground level street frontage features mirror image shopfronts of timber-framed glass windows on a painted brick sill and an entry door with fanlight above. Refer Figure 3.

The street front masonry wall is rendered and painted and includes a painted sign for Plumb's Chambers. The eastern perimeter brick wall is painted while the western masonry wall has remained unpainted. Each side wall contains two single doors and two timber-framed double hung windows along their length. The windows on the western wall feature painted sandstone sills and sandstone lintel blocks. The eastern wall features a mix of sandstone sills and lintel blocks and brick arch lintels. The rear of the building contains an access door from each tenancy onto a small concreted area covered with the corrugated iron lean-to roof. Refer Figure 4.

Only one shop tenancy was fully available for inspection however it would appear that the planning is similar for both. Both tenancies appear to comprise one room at the front under the two-storey component of the building, with two larger rooms in the rear single storey masonry component. The two front rooms featured a timber framed internal wall and plastered masonry side walls and a wide, VJ timber-lined ceiling. The two rear rooms were plastered with wide, VJ timber-lined ceilings.

The upper level is clad in painted timber chamferboards with a series of timber casement windows on the side walls. Access to the upper floor is via a side entry door on the western wall of the building. A narrow timber stair with a decorated timber balustrade leads into the first room on the upper floor. Refer Figures 5 & 6 and Floor Plan Sketch.



Figure 2



Figure 3



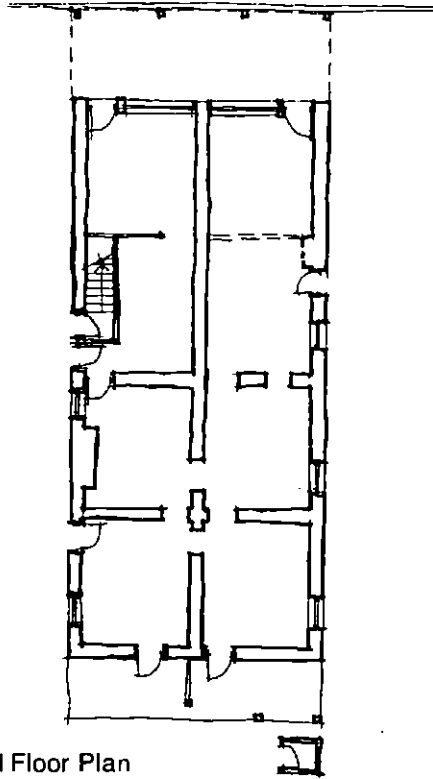
Figure 4



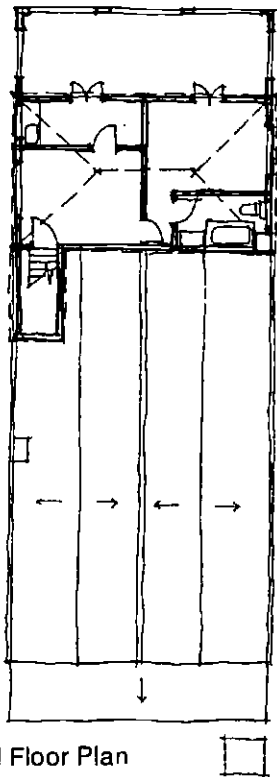
Figure 5



Figure 6



Ground Floor Plan



Upper Level Floor Plan



Floor Plan Sketch - 82 Fitzroy St
Not to Scale

The upper floor comprises four interconnecting rooms, each with timber VJ lining. The original layout appears to have been two large rooms which have later been divided to create two additional smaller rooms. Some internal walls are also sheathed with fibrous cement. The smallest room has been built into the corner of the original room and contains a WC, shower-bath and small basin. The two front rooms open onto the semi-enclosed verandah via twin light panel French doors. Refer Figure 7

The upper floor of the two storey timber verandah has a mix of timber lined and fibrous cement sheet walls. The verandah has a timber lined soffit. The verandah features large single openings on each side wall and three openings along the front. Each opening except the central opening contains timber venetians. It is possible that these linings conceal an earlier timber dowel balustrade similar to that visible on 84 Fitzroy St. Refer Cover Figure.

The ground level timber posts of the verandah sit on stone plinths. A slatted timber valence and a ripple iron soffit with internal perimeter guttering is located at the underside of the verandah level. Refer Figure 8

Access to the rear of the site appears possible via a 3m wide space on the eastern side of the building or the space between the building and 84 Fitzroy St.

2.2.2 Noticeable changes over time

Based on the physical evidence on site and the history outlined in the EPA Register entry⁵, the following changes appear to have occurred to the building approximately within the following eras:

1866-1876 (Margaret Hudson owner)

- *several structures extant on the site c1872⁶*
- The existing building was possibly constructed as a twin gabled single storey masonry commercial building featuring two separate shop tenancies and later altered to include the upper timber floor.

Circa 1910 (James Wilson owner)

- The addition of the two-storey verandah to the street frontage. It is unknown if this current verandah replaced an earlier, narrower verandah or a single storey awning.
- 82 and 84 Fitzroy St are consolidated under one owner.

1914- Present

Upper Level

- Internal lightweight partitioning for bathroom and "kitchen".
- Kitchen sink installation
- Later timber casement windows with mottled glazing
- Installation of surface wiring (Bakelite light switches and metal conduits)
- Fibrous cement wall lining and semi-enclosure to the upper level of the verandah
- Timber lining of verandah soffit

⁶ EPA Heritage Register Entry Plumb's Chambers 2006

⁶ *ibid*



Figure 7



Figure 8

2.2.3 Analysis of Existing Fabric

These comments should be read in conjunction with the structural report produced by Farr Engineers dated July 2007. The following comments relate to the condition of the fabric and its integrity and do not comment on the structural condition of the fabric other than to highlight areas of deficiency that have been covered within the structural report.

External

Ground Level

The shopfront contains mirror image timber framed glazing and entry doors. The eastern most entry door and glazing have been boarded over. The timber frame of the exposed shopfront is termite damaged. Entry to the western-most shop is via a four panelled timber door. The rendered and painted masonry surrounds of the wall appear sound.

The shopfront elevation appears to have received little or no alteration.

The western-most side wall is constructed of unpainted brickwork which has received extensive poor and inappropriate cement mortar patching and re-pointing. Brickwork faces are spalling and patches of original pointing have degraded with the walls based on the condition of the brickwork, appearing to be affected by rising damp. Refer Figures 9 & 10. The cement rendered plinth is cracking in places and painted sandstone sills to windows have degraded due to water run-off.

The rear unpainted masonry walls are in a similar condition. The eastern painted masonry wall also appears to have rising damp which has affected and degraded the painted surface. Refer Figure 11.

Upper Level

The painted timber chamferboards to the upper level appear generally in poor condition. The western elevation includes peeling paint and areas of missing boards with rotting and decaying boards at the floor level. Termite damage is also visible at the floor level. Refer Figure 12. The south and east elevations appear in similar condition with a rusted metal patch in some sections and missing boards in others. Refer Figure 13.



Figure 9



Figure 10



Figure 12



Figure 13



Figure 11

Two-storey verandah

The timber verandah appears in poor condition with structural failure of the eastern-most corner timber post. Timber supports have been fixed to the post at the upper floor junction. Refer Figure 14. The upper floor structure appears to have moved away from the bearers and a significant fall on the verandah floor was noted. Verandah floor boards to this edge have degraded significantly. Refer Figure 15. The ripple iron soffit appears bowed and rusting in places. The internal perimeter gutter appeared sound. Sections of the timber slatted valence are missing.

The roof framing was not visible due to the timber lined soffit however it is noted that both side fascia boards have rotted ends. Refer Figure 16.

Roof

The main hip roof features short sheeted galvanised corrugated iron roof sheets with a red oxide finish. Their condition appears relatively sound. Metal acroteria remain on the verandah corners. Rainwater goods include quad gutters and round metal downpipes (damaged).

The verandah roof finish appears to match that of the main roof. The roof finishes of the verandah and main roof are likely to be of the same era, and are also similar to the sheeting on 84 Fitzroy St. If both buildings were re-roofed at the same time, the roof sheeting would therefore likely be post 1909 and possibly date from the addition of the verandahs.

The rear twin gable roofs are also finished in short sheeted galvanised corrugated with an iron red oxide colour. A round box gutter sits between the roofs. Gutting and roof finishes to the sides of these roofs appears relatively recent and sound.

The rear awning is in a state of collapse. Refer Figure 4.

Internal

Ground Floor

The ground floor exhibits extensive damage to the floor framing and the floorboards. Refer Figure 17. The ground clearance to bearers appears to be non-existent in some areas. The framing has both suffered from termite damage and rot. The majority of the floor appears unstable and unsafe. The floor boards have been fully removed from the south-western room of the building, exposing the floor framing and its proximity to the ground level. Refer Figure 18.



Figure 14



Figure 15



Figure 16



Figure 17

Figure 18



The masonry walls all show substantial evidence of rising damp, with peeling paint, efflorescence and degrading plaster. The internal masonry wall separating the two shops exhibits significant water damage and cracking with failure of rotten timber lintels at openings. Refer figures 19 & 20. Significant cracks are also visible within the wall and the plaster, particularly in the rear section of the building.

The plastered fireplace had deteriorated and was missing a mantelpiece and hearth.

Significant water damage appears to have also occurred through the roof, particularly at the box gutter junction. The timber ceilings all show substantial water damage and decay. It is likely that the roof structure is also compromised.

Termite damage was evident in the flooring, timber walls, timber trims and skirtings of the shopfront room inspected. The timber ceiling appeared relatively sound. Refer Figure 22.

Generally the rear section of the building appears substantially damaged due to water ingress, rising damp, termite attack and possible settlement within the walls. Refer Figures 21 & 22. The front section of the building exhibits significant termite damage, rising damp to the masonry walls and a rotted, failed floor structure. Refer Figure 23 & 24.

Upper Floor Level

The internal single skin timber walls appeared generally sound. The floors were covered with layers of earlier floor finishes linings and generally not visible. Based on a small exposed section of flooring, it is possible that parts of the flooring have either been replaced or well protected by the coverings.

The floor framing and the roof framing were not inspected. Evidence of peeling paint at ceiling board junctions suggests that the roof space has suffered some water damage.

The timber linings within the bathroom show signs of water damage at floor level.



Figure 19



Figure 20



Figure 21



Figure 22



Figure 23



Figure 24

Summary

The building appears to have been neglected for a significant period of time and as a result exhibits substantial decay and structural failure. The building is in a high state of disrepair with significant structural and damp issues undermining the integrity of the fabric.

2.2.4 Integrity of Fabric

Based on the EPA's heritage citation, the external appearance of the building appears to have changed little since its initial construction other than the 1910 verandah addition and single storey service wing alterations and additions. The building also continues to display a clear understanding of its original layout and the nature of its finishes. Many early features of the building are evident including, timber skirtings, doors, windows, plastered walls and timber ceiling linings, ceiling rosettes and some internal door hardware.

The area that appears to have received the most alteration is the upper floor level of the building. The alterations included the provision of a bathroom, kitchen sink and kitchen space. The windows at this level were also likely altered to timber casement windows. Based on the style of the windows, light fittings and the plumbing fixtures, these alterations are thought to have occurred circa 1930-1950s.

Although much of the original fabric appears to remain within the building, due to the extent of neglect and damage to the building, the majority of the existing fabric is considered unsalvageable. The building fabric requires extensive replacement and reconstruction.

2.3 84 Fitzroy

The building was constructed by David Clarke and opened for business in 1875 as a Medical Hall (Chemist Shop) As noted in the EPA citation, the building was a commercial venture undertaken during a boom period of growth within Warwick and featured commercial tenancies on the ground floor and residential accommodation above.⁷

2.3.1 Description

This is a two- storey sandstone building featuring a two-storeyed timber verandah facing the street. The building also contains a series of single storey portions to the rear. The building is rectilinear in plan and features a corrugated iron hip roof with a stone chimney penetrating the roof on the western side of the building. The skillion verandah roof is separated from the main roof. Refer Figure 25.

The ground level street frontage includes an eastern tenancy with an angled timber shopfront with a central entry; a central tenancy with a timber panelled door and fanlight adjoining a series of three windows; and a western 'residential' entry with a painted stone wall, a timber



Figure 25

⁷ EPA Heritage Register Entry Plumb's Chambers 2006

panelled door and fanlight and a timber double hung. The ground floor western wall also features twin light timber double hung windows. Refer Figure 26.

The upper level consists of twin light panel French doors onto the upper verandah and twin light timber double hung windows on the upper floor. Each of the door and window openings on the front and western elevations include a central keystone block over the main stone header.

The perimeter sandstone walls are constructed with tooled joints in an ashlar coursing. The perimeter walls of the immediate rear portion of the single storey skillion are built of sandstone. Refer Figure 27. The structure includes a central recessed area clad in chamferboards. The remaining walls of this skillion section are a mix of masonry and timber walls. This appears to be an addition to the main structure, as the sandstone block finish varies slightly from the main structure. The junction of the eastern wall appears to partially abut into the corner of the original building.

The external walls at the upper level have a series of steel tie rods with crosses of flat steel. These rods are located at the main corners of the two storey structure and run through the length of the building and from side to side. These tie rods are later insertions into the building, however their age is unknown. Refer Figures 26, 28 & 29.

A further single storey structure is attached to the rear of the sandstone skillion structure on the western side of the building. This additional structure appears later in construction and built with timber chamferboards and rendered masonry. It features a hip roof and contains an ablutions area at the rear. All the single-storey portions of the building have recent custom orb roof sheeting and quad guttering. Refer Figure 30.

The building contains two shop tenancies at the lower level and residential accommodation above. The building has two internal two-storey masonry walls running north-south which separate the shop tenancies. A central corridor on the ground level provides access to the upper level. A narrow portion of the ground floor on the western side of the building features two small rooms with a fireplace and is likely to have been the original street entrance for the residential component on the upper level. Refer the following Floor Plan Sketch. More accurate As-existing drawings for this building are located in Appendix 5.



Figure 26



Figure 27



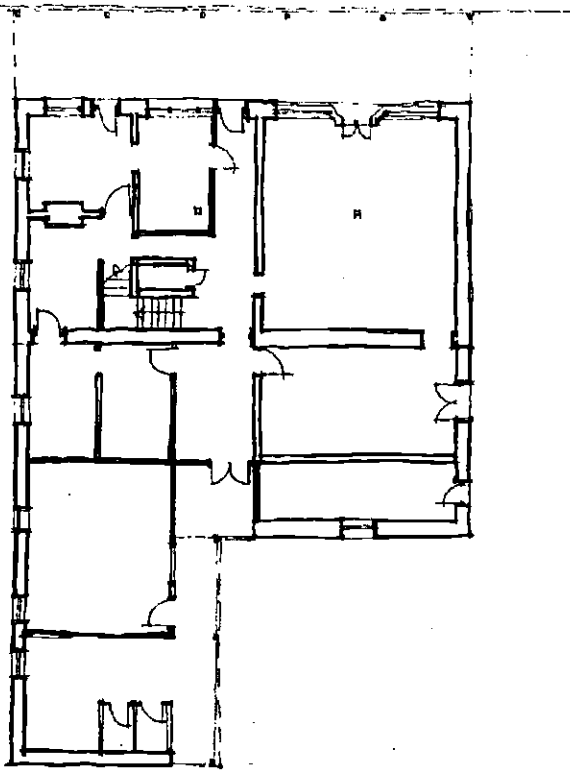
Figure 28



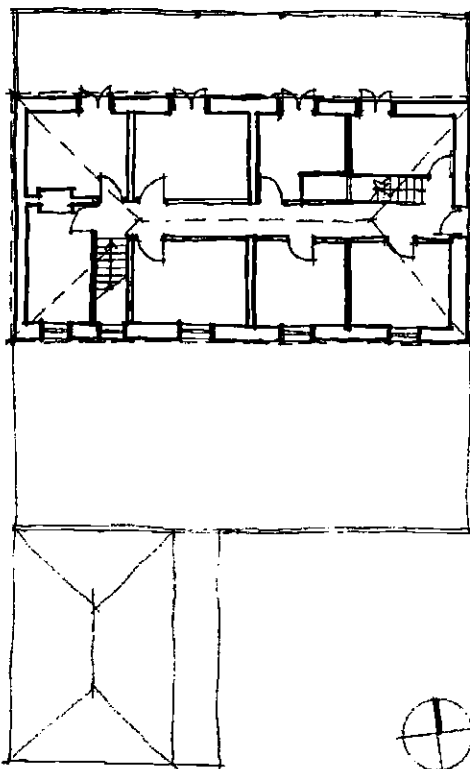
Figure 30



Figure 29



Ground Floor Plan



Upper Level Floor Plan

Floor Plan Sketch - 84 Fitzroy St

Not to Scale

More accurate As-Existing drawings for this building are located in Appendix 5.

The upper level plan comprises a central corridor running east-west, with four rooms on each side. Refer Figure 31. The internal masonry walls separate some of the rooms. The other internal walls are generally lathe and plaster with timber ceiling linings. Each room features timber ceilings with a central cast iron ceiling rosette and either a timber twin light double hung window or timber twin light panel French doors. Refer Figure 32. Each room retains a four panelled timber entry door from the corridor and retains early timber skirtings and cornices. Door hardware appears to be original. There is no evidence of either wet areas (bathrooms, toilets) or a kitchen on this upper level.

A timber stair from the central corridor provides access to the roof space.

The upper floor of the verandah is accessed by the French Doors and features a timber dowelled balustrade concealed from the street by fibrous cement sheeting. Refer Figure 33. The timber posts are chamfered and feature capital moulds at the ground floor and timber scrolled brackets on the top floor. The timber posts at ground level sit on stone plinths. A slatted timber valence and a ripple iron soffit with internal perimeter guttering is located at the underside of the verandah level. The construction of the verandah mirrors that found on 82 Fitzroy St.

The building is located directly on its western boundary and adjoins a gazetted road (Haig Avenue). This road provides one of the public car park access points to the existing shopping centre development behind the subject site and access to the police station on the opposite side of the road. This road also is used for some service deliveries to the shopping centre. Refer Figure 34.

The building is currently vacant.

2.3.2 Noticeable changes over time

The building appears to have received most of its alterations and additions at the lower level and to the rear. The upper level floor plan appears original to the building with the internal fabric appearing to be relatively intact.

Based on the physical evidence on site and the history outlined in the EPA Register entry⁹, the following changes appear to have occurred to the building roughly within the following eras:

1868-1909 (David & Charles Clarke owners)

- A rear, single storey addition in matching stone, including a concrete floor slab. Possibly containing a kitchen and /or store area. Window treatments match those on the existing main building. This rear portion is considered an addition as the sandstone block finish varies slightly from the main structure and on the eastern wall the stones appear to partially abut into the corner of the original building. An access door on the south-western corner of the main building appears to be a later insertion into the stone wall. (circa 1878 -1882)

The historical background within the EPA Register entry notes that the building (then known as the Medical Hall) consisted of 15 rooms



Figure 31

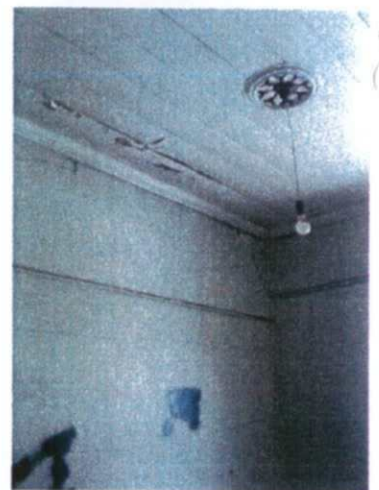


Figure 32



Figure 33



Figure 34

⁹ EPA Heritage Register Entry Plumb's Chambers 2006

by 1882. This included a bathroom, kitchen, stables and a coach-house.⁹

- Further additional single storey structures along the western boundary, adjoins the single storey stone structure. The age of this addition is unknown and may be a mix of early additions (c1880s) and much later additions (c1914 onwards). This addition has been recently refurbished internally with modern linings. Refer Figure 30.

Circa 1910 (James Wilson owner)

- The addition of the two-storey verandah to the street frontage. As the French door openings leading onto the verandah appear original, it is possible the current verandah replaced an earlier, narrower cantilevered verandah, however no physical or photographic evidence has been found to support this.

1914-1948 (James Plumb owner)

- Changes to the central shopfront opening, including the insertion of the timber panelled door and fanlight (with the painted sign "Plumbs Chambers") adjoining a series of three windows.
- Additional partitioning in the central tenancy space to provide a smaller space linked to the western-most rooms of the building and a central entry and corridor.
- The insertion of a brick strong room reached from the new central corridor.
- A change in the direction of the lower flight of the existing timber staircase to the upper level to provide access from the new central corridor.

It is most likely the above changes happened as part of one major alteration to the building.

1949-present (current owners)

- Remained in operation as commercial space at ground level until circa late 1990s.
- Appears to have received minimal alterations or additions to the fabric. Some inappropriate re-pointing of the stonework has occurred in places.
- Refurbishment of portions of the rear western service wing.
- Reroofing of single storey components.

Remedial structural work has also occurred, including the insertion of a series of steel tie rods to help brace the upper levels of the perimeter walls. The time of their insertion is unknown.

⁹ ibid

2.3.3 Analysis of Existing Fabric

These comments should be read in conjunction with the structural report produced by Farr Engineers dated July 2007. The following comments relate to the condition of the fabric and its integrity and does not address the structural condition of the fabric other than to highlight areas of deficiency that have been covered within the structural report.

External

Front (North) Elevation

The ground floor contains three main tenancy/room entries. The eastern most tenancy features a large timber framed glass shopfront with a recessed central entry and a twin light French door. The design of the shopfront appears original to the building and sits on a raised stone sill. The timber framed glazing may be a replacement. Refer Figure 35.

The central shopfront has been altered by the removal of the original stone sill and inclusion of the current four panelled door and set of three double-hung windows. This alteration is likely to be part of the internal alterations of the building undertaken post 1914. Refer Figure 36.

The western-most street entry appears to remain unchanged with original openings within the wall remaining intact. The four panelled door and double hung window are possibly also original fabric. The walls are painted sandstone and have areas of peeling paint which likely equates to the level of damp within the walls. A significant crack runs through the stone header above the western corner of the window. Refer Figure 37.

A moulded cornice sits above the two main tenancy shopfronts. Pointing of the sandstone wall appears relatively sound however the painted and rendered surfaces are deteriorating, particularly in the lower metre of the wall, indicating damp. This may also be impacting upon the sandstone blocks.

The upper level features four pairs of twin light French doors giving access to the verandah. The surrounding sandstone wall is painted and appears in sound condition. Cracking along joint lines is evident at the western end of the façade near the door opening and the corner of the building. This cracking is likely related to the current condition of the western elevation.

Two-storey Verandah

The upper level of the timber verandah has deteriorating floor boards with a uniform fall to the outside edge. The timber dowel balustrades and rails remain although in poor condition with portions missing and replaced with fibrous sheeting. The vertically timber boarded gable ends of the skillion verandah roof are in similar condition.

The ripple iron soffits to the underside of the verandah have been replaced at the eastern end of the verandah with a metal profiled lining. The internal perimeter gutter remains intact. The timber slatted valence remains. Refer Figure 38.



Figure 35



Figure 36



Figure 37



Figure 38

West Elevation

The west elevation exhibits significant bowing of the wall at the upper level with a series of cracks within the stone block joints and protrusion of the stone block coursing in relation to the cross plates of the tie rods. This has been identified by the structural engineer's earlier inspections as one of the two most significant structural issues related to the condition of the building.¹⁰ Refer Figure 39.

The two storey portion of the wall features two ground level twin light double hung windows with stone sills and stone headers with flat steel lintels. A crack runs through the stone lintel of one of the window openings. The timber window frames also require maintenance.

The wall exhibits cracking in much of its coursing and evidence of poor remedial cement re-pointing. The ground level and lower courses exhibit spalling of the stone face, including in the cement rendered plinth course. This appears due likely to rising damp through the wall. Possible subfloor ventilation grilles are located within this course however their effectiveness is unknown.

The single storey stone wall also appears to bow outwards and contains stonework blocks of a less finished appearance and size, laid in a slightly less uniform coursing. It is considered this wing is a later addition, however still likely to be c1870-80s. The lower coursing of the stonework exhibits similar damage to the two storey component.

The later, rear single storey extension has been recently rendered.

The condition of the western stone wall is generally poor, with inappropriate remedial cement pointing, spalling of the lower courses of stonework, and significant bowing and structural stability issues in the wall. These issues appear attributable to potential rising damp and foundation movement, both of which have a detrimental impact upon the long term condition of the stone blocks and the future stability of the wall. External site factors such as the adjoining road level and potential vibration received from traffic using the roadway, may also exacerbate the poor condition of the walls.

Rear (South) Elevations

The rear elevation consists of rendered and painted brick walls for the rear-most western service wing addition with chamferboards facing the rear court area and the external recessed area under the main skillion roof. The south-eastern wing built under the skillion roof consists of a stone wall to the rear with a chamferboard wall facing into the external recessed area under the main skillion roof. The rear stone wall features a double hung window. Refer Figure 40.

The stone wall appears in relatively sound condition externally, including the cement rendered base. The timber frame of the twin light double hung window requires maintenance and replacement of at least the lower sash. The interior of this room of the building was not available for inspection.



Figure 39



Figure 40

¹⁰ Farr Engineers Associates Pty Ltd *Inspection Properties 82 & 84 Fitzroy St Warwick 9 July 2007, Part 3*

The upper level stonework of the elevation appeared relatively sound with some joints appearing to have been re-pointed. Cracking at the south-west window head is visible. Refer Figure 28.

East Elevation

The two-storey component of this stone wall appears in better condition than the western wall. There is evidence of re-pointing, particularly in the lower block courses however the wall in general appears to be in a more sound condition with less weathered or exposed damage to the stonework than the western wall however the structural report noted an increase in the bow of the wall between October 2005 & June 2007.¹¹ Refer Figure 41.

The single storey skillion extension again features stone block work constructed in a similar fashion to that noted on the western wall.



Figure 41

Roof

The main hip roof features short sheeted galvanised iron corrugated iron roof sheets with a red oxide finish. Their condition appears relatively sound. Metal acroteria remain on the southern corners of the roof and the short-length ridge flashings are scribed. Rainwater goods include ogee gutters and metal rainwater hoods and downpipes finished in red oxide colour. Refer Figure 28.

The verandah roof finish appears to match that of the main roof. The roof finishes of the verandah and main roof are likely to be of the same era, and are also similar to the sheeting on 82 Fitzroy St. If both buildings were re-roofed at the same time, the roof sheeting would therefore likely be post 1909 and possibly date from the addition of the verandahs.

Guttering and roof finishes to the single storey service wings appear relatively recent and sound.

Internal

Ground Floor

The ground floor boards were carpeted and were not inspected, however it is noted that the structural engineer's report comments on the close contact of the ground floor framing with the ground. The floor framing was able to be inspected under the western side of the skillion service wing and underneath the lower flight of the stair. In these instances, the framing was either in contact or in close proximity to the ground. Where the framing was in contact with the ground, termite damage to the floor boards was also noted.

The perimeter stone walls are plastered and painted internally and exhibit significant areas of peeling paint due to rising damp in the walls. The level of the peeling paint sits approximately one metre above the floor level. The internal plastered masonry walls (separating the tenancies) exhibit a similar extent of damage. Refer Figure 42 & 43.

This condition of peeling paint and damp was a consistent height and was noted in each of the masonry and stone walls of the building.



Figure 42



Figure 43

¹¹ Farr Engineers Associates Pty Ltd Inspection Properties 82 & 84 Fitzroy St Warwick 9 July 2007, Part 1.4

The plastered walls also exhibit substantial cracking, particularly in the western wall. This is consistent with the bowing and movement previously noted within the wall. It is also noted that the bowing of the wall has been a part of the buildings structure for some time, as evidenced by the internal out-of-plumb construction junction of a later stud wall (in the western single storey wing).

There is also significant evidence of termite attack and termite infestation in the timber trims of internal doorways and timber surrounds to the shopfronts. As noted in the structural report, it is likely that due to the poor subfloor conditions and the extent of termite infestation, the ground floor framing is likely to be significantly compromised. A timber skirting (plain chamfered profile) was only evident in the eastern most tenancy. Its condition is likely to be suspect due to the proximity of visible termite activity.

The original shop tenancies also feature a central stop-chamfered timber column and headstock supporting a main bearer. An internal circular steel column flanks each side of the recessed entry to help support the span of the shopfront opening. Significant termite activity is evident in the north-eastern corner of the shopfront with tunnels and nest leading up to the ceiling. Refer Figure 43.

Wide timber boarded ceilings with metal rosettes also remain within the tenancies and appear in sound condition despite the appearance of cupping. The western most front room also retains the wide timber ceiling boards and rosette. In each of the rooms retaining the timber ceilings, the timber cornices also remain. It is unknown if the ceilings or trims have been affected by termites and as noted in the structural report, it remains necessary to inspect the framing of the upper floor level.¹² The rear south-western room has a later fibre-cement ceiling lining.

The rear single storey skillion service wing comprises two parts separated by a recessed covered area. The eastern wing contains two rooms built of stone along the eastern and southern walls with a mix of stone and masonry inner walls and an external chamferboard wall facing into the external recess. The western wing is built in stone along the western wall and in timber stud to the inner walls and external recess space.

The eastern wing has a concrete floor with an internal painted random rubble wall and a painted masonry wall. All these walls exhibit peeling paint and damp. The ceiling is a flat fibrous cement lining. This room leads to a central corridor with a timber floor, presumably with little ground clearance. As previously noted, the southern-most room of this eastern wing was not available for inspection.

The western wing has timber floors with degrading floor boards and floor framing in contact with the ground. The internal walls and ceilings are fibrous cement lined with timber half round cover mouldings.

Internal Stairs

The timber stairs leading to the upper level have been altered with the lower stair flight realigned to provide access from the corridor of the

¹² Farr Engineers Associates Pty Ltd *Inspection Properties 82 & 84 Fitzroy St Warwick 9 July 2007, Part 3.5*

former central tenancy. The flight is built against the wall of the strongroom and has open treads and steel stringers. The subfloor space is visible under the stairs, indicating a shallow clearance between the ground surface and the floor framing. Refer Figure 44.

The dividing masonry wall between the former central tenancy space and the western residential rooms has been removed to allow the stair flight to join to the previous stair landing. The construction of the lower stair flight and the landing are more recent compared to the upper stair flight. The original lower flight of the stairs appears to have run the other way, finishing within the small south-western room of the building.

The upper flight of the stairs appears to be original building fabric with tread and riser finishes and mouldings remaining intact for the whole of the flight. The timber balustrade and handrail also remain. A more recent steel handrail has also been inserted into the side of the masonry wall. The stairs themselves are narrow and steep but are considered typical for their era of construction. Refer Figure 45. The width and length of the stairs is constrained by the existing timber framed walls on the upper level. A timber framed double hung window sits in the southern perimeter wall above the landing.

Upper Floor level

The upper floor comprises four rooms on each side of a central corridor. The rooms are bounded by a combination of plastered perimeter stone wall, plastered internal masonry wall and lathe and plaster timber stud walls. The dividing wall between the two rooms in the north-eastern corner of the building is a single sided timber VJ-lined stud wall with exposed rails. The lathe and plaster walls all exhibit hairline cracks as a result of movement of the building however no areas of plaster appear to have fallen from their substrate.

In each room the timber skirtings and timber cornices remain. It is possible that some of these trims will have been damaged through termite activity and /or minor water damage. Each room also retains the beaded timber boarded ceilings and cast iron rosettes. A possible termite nest within the rosette in the north-western room and cupping to some ceiling boards in the south-eastern room was noted.

The walls in the western-most rooms of the building feature extensive cracking within the plaster finish and the substrate of the perimeter stone wall. Refer Figure 46. Extensive cracks also feature in the joining internal cross wall containing the fireplace. Significant gaps have also occurred between the floor framing and the skirting within the south-western room with noticeable falls within the floor.

Generally the upper level retains the original floor layout of the building and most of the original fabric (wall, ceiling, floor linings and finishes). Doors, windows and associated hardware also generally remain and appear in reasonable condition.

Roof Space

A second flight of timber stairs provides access into the roof space of the building. The roof structure appears to retain most if not all of its original roof framing members including ceiling joists and appears in a relatively sound and dry condition. The extent of bird droppings indicates that bird /vermin barriers are either missing or have failed. The roof sheeting

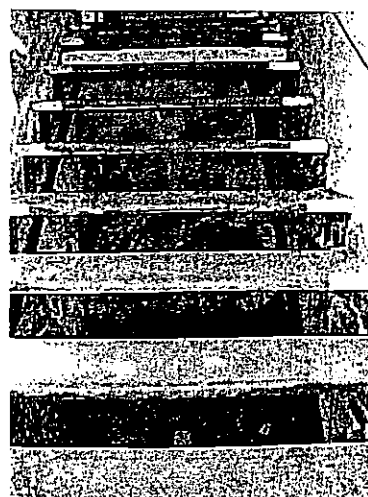


Figure 44

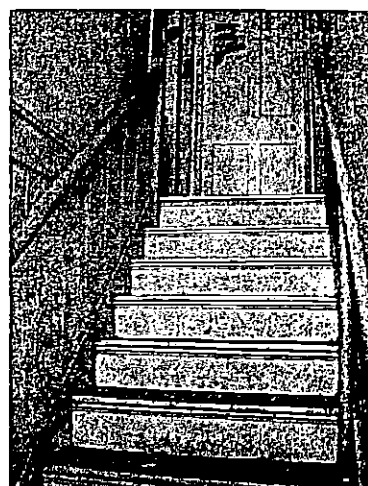


Figure 45

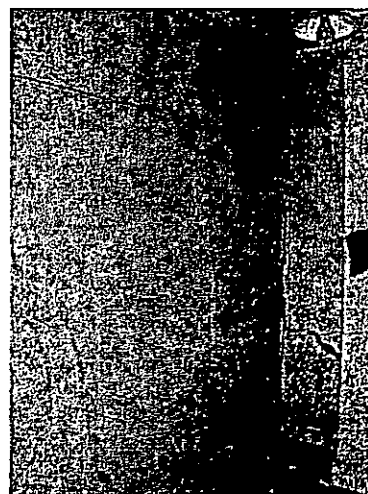


Figure 46

appears relatively sound, with no significant evidence of serious water ingress through rusted or degraded sheets. Refer Figure 47

Summary

This building appears to have received little maintenance in the last 50 years, other than the minimum to maintain commercial occupancy. It would appear that no maintenance has been undertaken since the building became vacant. The building has generally been neglected and is rapidly falling into a state of high disrepair with significant structural concerns.

As noted in the structural report¹³, the building appears to have two significant structural issues that must be addressed as part of any future conservation of the building:

1. The stability of the western wall and the potential associated impact on the structural integrity of the other masonry walls.
2. The degraded condition of the lower floor framing (and possible portions of the upper floor framing at the western and eastern end of the building)

These issues appear due to the poor subfloor ventilation, shallow ground clearance, impact of rising damp and the extent of movement in the foundations of the building.

The structural report states that the walls are

*so compromised that urgent measures need to be instituted to protect third parties from the effects of a possible collapse of the wall, or demolition of the building is required...*¹⁴

The extent of the issue will mean significant costly and extensive restoration of the structure to achieve structural stability. This is discussed in more detail in Section 4 of this report.

Further to these main issues, the building is also under stress from potentially active termite attack and the potential degradation that occurs from the lack of occupancy and use of the building. The condition of the stonework walls and the approach to re-pointing would also need to be addressed.

Concern is also held by the client in relation to the potential impact on public safety posed by the instability of the stone wall in relation to Haig Avenue.



Figure 47

¹³ Farr Engineers Associates Pty Ltd *Inspection Properties 82 & 84 Fitzroy St Warwick* 9 July 2007, part 3.1-3.6

¹⁴ *ibid*, part 3.4

2.3.4 Integrity of Fabric

Based on the extent of the building inspected, it appears to have undergone external and internal alterations principally to the ground floor shop tenancies and the rear service areas. Other than these alterations, the remainder of the building fabric appears to have received minimal alteration.

There are areas in disrepair and areas where fabric has been lost although this has not resulted in the loss of an understanding of the original building. For example, the alterations to the central entry are unfortunate and have somewhat diminished the appearance and understanding of the building however the building form and appearance remains recognizable.

The current extent of alterations to the existing fabric is considered consistent with that expected for a commercial building over its life span. Many of the alterations undertaken appear to have had a negligible impact on the understanding or appreciation of the building, with some potentially readily reversible if required.

The building retains a significant amount of its early fabric, particularly on the upper level. Little alteration has occurred on this level such that the floor level displays a clear understanding of its original planning and finishes.

The ground floor level has received greater alterations, in particular at the rear, in the former central tenancy space and in relation to the stairwell. Despite these alterations an understanding of the original layout remains evident. Further, a substantial extent of the internal finishes remain (internal plaster linings, timber ceilings, and rosettes, doors, door frames, windows and hardware) albeit in a degraded state in some areas.

Despite the internal and external alterations, sufficient fabric remains to recognize and understand the design and features of the original building. Other than the additions of the verandah in 1910, it appears that little substantial alteration has occurred to the principal structure or appearance of the building.

3.0 ASSESSMENT OF SIGNIFICANCE

3.1 Assessing Significance

The *Burra Charter* defines cultural significance as *aesthetic, historic, scientific, social or spiritual value for past, present or future generations*. The Queensland Heritage Act 1992 adopts similar criteria although in a more expanded and clearly-defined form. The criteria within the Act have been used as a guide to assessing significance in this plan. The Act's criteria for entry in the register are located in Appendix 3.

An assessment of the cultural significance for the two buildings has not been undertaken as part of this study. An assessment was however made by the Queensland Heritage branch of the EPA and the buildings were subsequently entered into the Queensland Heritage Register.

In summary, the Statement of Significance notes the two buildings' importance in:

- Demonstrating the pattern of development of Warwick, particularly in relation to the stone building of 84 Fitzroy being indicative of Warwick's first building boom.
- demonstrating rare aspects of a Georgian-styled stone shop-house in Queensland and aspects of the nature of the accommodation and work place of a successful 1870s business family in a developing Queensland rural town (in relation to the stone building of 84 Fitzroy)
- illustrating the design, materials and construction techniques of mid-19th century masonry building in Queensland
- demonstrating the principal characteristics of a particular class of cultural place, particularly in relation to the stone building of 84 Fitzroy, as an excellent example of a substantial, two-storeyed, stone building with commercial premises on the ground floor and residence on the first floor, designed to impress and inspire confidence
- occupying a prominent role in the streetscape, with the pitch of the roofs contributing to the unity of the street
- its close association with Warwick chemist and seedsman David Clarke (the developer of the stone building of 84 Fitzroy)

It should be noted that each of the above criterion of significance appears to be particularly in relation to the stone building of 84 Fitzroy Street.

A copy of the Queensland Heritage Register Entry can be found in Appendix 1.

It is also noted that of the other heritage places within Warwick identified in the Queensland Heritage Register, it appears there are no commercial buildings of a similar class or type to the subject buildings.

3.2 Other assessments

Warwick Shire Council undertook a Cultural Heritage Study in 1997 for the purpose of identifying and assessing the Shire's cultural heritage.¹⁵ The study also provided advice on conservation of significant buildings and sites and recommended appropriate town planning controls for inclusion in the Shires town planning scheme. This study formed the basis of the Council's Cultural Heritage Policy and Heritage register.

The Plumb's Chambers site was identified in this study as having local significance for:

- *its association with the local historical theme of the development of Warwick as an administrative centre*
- *it's [84 Fitzroy] architectural value as a sandstone building in a district characterised by the use of local sandstone.*

The buildings are identified in the Council's Heritage register. The buildings are not included in the National Trust of Queensland Heritage Register nor are they known to be included in any other heritage register.

The study also identified a small number of commercial buildings within Warwick which are considered similar in class and type to the subject buildings. This report does not research other buildings and it is unknown if these Local Significance listings are buildings that combined both shops with residential accommodation above.

3.3 Summary Statement of Significance

Based on the review of the history provided and the EPA's rationale in the Statement of Significance, it follows that the statement of significance should be adopted as reasonably representing the cultural significance for the buildings.

It should be noted however that the two buildings have been treated as a single heritage place when in fact they have little relationship to each other. They are different in material and appearance and were built by different developers approximately 10 years apart. The buildings only became known as Plumb's Chambers following the amalgamation of titles and ownership in 1914.

It is argued that the two buildings, although close in proximity, should be considered as separate entities in relation to their register entries. If that were the case then the buildings would be considered significant for:

¹⁵ Mark Baker Town Planning Consultant Pty Ltd in association with Ivan McDonald Architects and Margaret Pullar Historian; *Warwick Shire Council Cultural Heritage Study*, April 1997.

82 Fitzroy St

- demonstrating the pattern of development of Warwick,
- illustrating the design, materials and construction techniques of mid-19th century masonry building in Queensland
- demonstrating the principal characteristics of a particular class of cultural place, with commercial premises on the ground floor and residence on the first floor*
- its aesthetic significance in the streetscape, with the pitch of the roof contributing to the unity of the street

84 Fitzroy St

- demonstrating the pattern of development of Warwick, particularly being indicative of Warwick's first building boom.
- demonstrating rare aspects of a Georgian-styled stone shop-house in Queensland and aspects of the nature of the accommodation and work place of a successful 1870s business family in a developing Queensland rural town
- illustrating the design, materials and construction techniques of mid-19th century masonry building in Queensland
- demonstrating the principal characteristics of a particular class of cultural place, as an excellent example of a substantial, two-storeyed, stone building with commercial premises on the ground floor and residence on the first floor, designed to impress and inspire confidence*
- occupying a prominent role in the streetscape, with the pitch of the roofs contributing to the unity of the street
- its close association with Warwick chemist and seedsman David Clarke (the developer of the stone building of 84 Fitzroy)

*Of these two buildings, it is considered that 84 Fitzroy St was originally designed as a combined shop-house, whereas 82 Fitzroy St was likely altered from an initial single storey commercial building in order to provide accommodation above. The importance of 82 Fitzroy St demonstrating the principal characteristics of a particular class of cultural place could therefore be considered of less significance relative to 84 Fitzroy St.

3.4 Relative levels of Significance

The proposed levels of significance for the fabric and setting of each building are defined below. These levels are relative to each building.

A - Exceptional significance

Fabric that forms a remarkable, rare or unusual part of the place. Fabric considered essential to the understanding, appreciation or cultural value of the place. Fabric that must be retained and rigorously conserved (e.g. maintained, preserved, restored or reconstructed). Intervention would not normally be permitted.

B - Considerable significance

Fabric considered important to the understanding, appreciation or cultural value of the place but which could possibly be intervened with in a sensitive, controlled and limited manner. Fabric that should be retained and appropriately conserved (e.g. maintained, restored, reconstructed, adapted).

C - Some significance

Fabric considered useful, but not essential, to the understanding, appreciation or cultural value of the place but for which sensitive intervention would be acceptable. Fabric that is desirable to be retained and appropriately conserved.

D - Little or no significance

Intervention and/or new work are appropriate provided that no nearby areas of higher cultural significance are compromised.

E - Intrusive element

Fabric should be removed and original form reconstructed or new compatible adaptation made.

The proposed grading of the relative significance for the elements and fabric of each building aims to provide a greater understanding of the place and aid in formulating appropriate conservation actions. The resulting conservation actions are outlined in Section 5 Conservation Policy.

The terms fabric, restoration reconstruction, adaptation, cultural significance and compatible are as defined in the Burra charter and are set out in Appendix 4.

This table of significance records only that fabric observed. (Some fabric such as cornices, skirtings etc were missing.) The potential significance of the fabric listed takes no account of the physical condition of the fabric.

82 FITZROY**BUILDING GENERALLY**

Overall building form	B
Landscape setting	C
Vistas (as viewed from Fitzroy Street)	B

EXTERNAL ELEMENTS**Ground Floor Level**

Walls	
Cement rendered plinth	C
Masonry perimeter walls	B
Rendered masonry walls (street front)	B
Doors	
Shopfront entry timber panelled doors with fanlight	B
West side entry timber doors	C
East side entry timber door	C
Rear entry timber doors	C
Windows	
Glazed timber double-hung windows	B
Shopfront glazing	B
Verandah	
Timber stop-chamfered posts, stone plinth and timber capitals	B
Timber slatted valence	B
Galvanised ripple iron soffit & internal perimeter gutter	B
Outbuildings / structures	
Timber chamferboard toilet structure	D
Timber gabled shed	D

82 FITZROY**Upper Floor Level****Walls**

Timber Chamferboard walls	B
---------------------------	---

Windows & Doors

Timber casements	D
------------------	---

Verandah timber French doors	B
------------------------------	---

Verandah

Vertical timber boarded gable ends	C
------------------------------------	---

FC sheeting to perimeter walls	D
--------------------------------	---

Timber ceiling lining	C
-----------------------	---

Timber flooring #	D
-------------------	---

Timber venetian blinds	D
------------------------	---

Eaves / Gutters/ downpipes

Metal gutters	D
---------------	---

Circular metal downpipes	C
--------------------------	---

Circular box gutter	D
---------------------	---

Metal Acroteria	C
-----------------	---

Roof

Short-sheeted corrugated roof sheeting to main hip roof	C
---	---

Galvanised ridge capping	C
--------------------------	---

Masonry chimney stacks	B
------------------------	---

Timber fascia	C
---------------	---

Rear Corrugated iron awning	C
-----------------------------	---

Landscape Elements**Immediate surrounds**

Perimeter hedges to rear west of site	D
---------------------------------------	---

Timber paling fence to rear of site	
-------------------------------------	--

Masonry wall to east of site	D
------------------------------	---

Concrete block breezeway wall to west of building	E
---	---

Bitumen footpaths	E
-------------------	---

Further investigation required to confirm assessment

82 FITZROY**INTERNAL ELEMENTS****Ground Floor Level****Floors**

Timber suspended floor and framing (main building)	C
Timber skirting	C
Concrete slab on ground (at rear of building)	C

Walls

Plastered Walls (painted)	B
Timber VJ Walls	D
Fireplaces in plastered masonry wall	B

Windows & Doors

Timber doors	D
Timber window / door surrounds	D

Ceilings

Timber VJ boarding #	B
Cast iron rosettes	B
Suspended / surface mounted light fittings	D

First Floor Level**Floors**

Timber T&G flooring #	C
-----------------------	---

Walls

Timber VJ Walls (original)	C
Lightweight timber infill walls	D

Windows & Doors

Timber panelled doors	C
Timber glazed French doors (and associated hardware)	B
Timber window / door surrounds	C

Ceiling

Timber beaded boarding	B
Timber cornice	D
Suspended light fittings	D

Stairs

Timber flight (risers & goings)	B
Timber balustrade	B
Timber handrail	B

Further investigation required to confirm assessment

84 FITZROY**BUILDING GENERALLY**

Overall building form	B
Landscape setting	C
Vistas (as viewed from Fitzroy Street)	B

EXTERNAL ELEMENTS**Ground Floor Level****Walls**

Perimeter sub floor decorative cast iron ventilation grilles	C
Sandstone perimeter walls (including the single storey skillion portion)	B
Rendered masonry walls	D
Timber Chamferboard walls	D

Doors

Front entry timber panelled doors with fanlight	B
Front entry timber twin light French doors	B
East side entry timber door	C
Rear entry timber door	C

Windows

Glazed timber double-hung windows	B
Eastern shopfront glazing	B
Central tenancy set of timber double hung glazing	C

Verandah

Timber stop-chamfered posts, stone plinth and timber capitals	B
Timber slatted valence	B
Galvanised ripple iron soffit & internal perimeter gutter	B

Outbuildings / structures

Single story skillion roofed area adjoining the main 2-storey building, encompassed by perimeter stone walls	C
Single story west wing addition and ablutions wing	D
Single story west wing addition verandah	D
Underground water tank (noted in citation, however not found on site) #	

Further investigation required to confirm assessment

84 FITZROY**First Floor Level****Walls**

Sandstone perimeter walls	B
---------------------------	---

Windows & Doors

Glazed timber double-hung windows	B
-----------------------------------	---

Verandah timber French doors	B
------------------------------	---

Verandah

Vertical timber boarded gable ends	C
------------------------------------	---

Timber dowel balustrade	B
-------------------------	---

Timber posts and scrolled brackets	B
------------------------------------	---

Timber handrails	B
------------------	---

Timber decking	D
----------------	---

FC boarding to balustrade	E
---------------------------	---

Metal fold-down escape ladders	E
--------------------------------	---

Eaves / Gutters/ downpipes

Metal ogee gutter	C
-------------------	---

Rainwater heads	B
-----------------	---

Circular metal downpipes	C
--------------------------	---

Metal Acroteria	B
-----------------	---

Circular PVC downpipes to verandah	E
------------------------------------	---

Roof

Short-sheeted corrugated roof sheeting to main hip roof	C
---	---

Galvanised ridge capping	C
--------------------------	---

Stone chimney stack	B
---------------------	---

Timber fascia	D
---------------	---

Zincalume custom orb sheeting to skillion & single storey roof	D
--	---

Landscape Elements**Immediate surrounds**

Perimeter hedges to rear east of site	D
---------------------------------------	---

Timber paling fence to rear of site	D
-------------------------------------	---

Rear courtyard area	D
---------------------	---

Concrete slab in single storey recess area	D
--	---

Corrugated water tank	D
-----------------------	---

Bitumen footpaths	D
-------------------	---

Bitumen road and parking access (west of building)	E
--	---

Eastern-side open concrete stormwater drain #	D
---	---

84 FITZROY**INTERNAL ELEMENTS****Ground Floor Level****Floors**

Floor finish (carpet)	E
Timber suspended floor and framing (main building)	C
Timber suspended floor and framing (service wing)	D
Timber skirting	D
Concrete slab on ground (in rear service wing)	D

Walls

Plastered Walls (painted)	B
Timber VJ Walls (c.1940s)	D
Painted stone walls (in rear service wing)	C
Painted masonry walls (in rear service wing)	C
Painted FC walls (in rear service wing)	D
Back-to back Fireplaces in plastered masonry wall	B
Fireplace timber mantelpiece (only one visible)	B
Fireplace cast iron hearth (only one visible)	B
Central timber post supports	B
Masonry strong room (c.1940s)	D
Surface mounted electrical conduits	E

Windows & Doors

Timber panelled doors (main 2-storey building)	B
Timber glazed French doors (main 2-storey building)	B
Timber window / door surrounds (main 2-storey building)	B
Timber panelled doors (service wings)	D
Timber glazed French doors (service wings)	D
Timber window / door surrounds (service wings)	D

Ceiling

Timber VJ boarding	B
Timber cornice	B
Cast iron rosettes	B
Suspended / surface mounted fluorescent light fittings	E
FC ceilings	E

Further investigation required to confirm assessment

84 FITZROY**First Floor Level****Floors**

Timber T&G flooring		B
Timber floor framing		B
Timber skirting		B

Walls

Plastered perimeter stone walls		B
Plastered masonry walls		B
Lathe & plastered timber walls		B
Timber VJ Walls		B
Back-to back Fireplaces in plastered masonry wall		B
Fireplace timber mantelpiece	#	B
Fireplace cast iron hearth	#	B

Windows & Doors

Timber panelled doors		B
Timber glazed French doors		B
Timber window / door surrounds		B

Ceiling

Timber beaded boarding		B
Timber cornice		B
Cast iron rosettes		B
Suspended light fittings		D

First Floor Stairs

Timber upper flight (risers & goings)		B
Timber landing and lower flight		E
Timber panelled sides/stringer		B
Timber balustrade		B
Timber handrail		B
Metal handrail		E

Roof Stairs

Timber risers & goings		B
Timber panelled sides/stringer		B
Timber balustrade		B
Timber handrail		B

Other

Steel tie rods		D
Roof framing		B

Further investigation required to confirm assessment

4.0 CONSERVATION / DEVELOPMENT STRATEGIES

4.1 Client's Development Requirements

The client desires to expand the existing shopping centre behind the subject sites in order to meet the needs of a growing population within the Warwick Shire district. To satisfy the needs of shop retailers for space and the demand for growth, the development would require the site occupied by 82 Fitzroy St and the rear area of 84 Fitzroy St.

The client proposes to incorporate the principal portion of 84 Fitzroy St as part of the overall development strategy and expansion of the shopping centre. The two buildings are currently under an option to purchase by the client following the outcome of current development applications.

4.2 Required Conservation/Stabilisation Measures

In order to retain these buildings, a significant amount of structural and conservation work needs to be undertaken to stabilise and make fit for occupancy.

4.2.1 82 Fitzroy

The existing building is substantially compromised in its structural stability and considered unsafe in its current condition. The structural report noted that:

The building is essentially at the end of its structural life and is little more than a demolition exercise.¹⁶

Due to the extent of decay and deterioration, the scope of work required to stabilise and repair the structure would include the complete removal of the existing internal floor structure, finishes and roof framing.¹⁷ This would require the almost complete loss of the existing fabric and reconstruction of the building.

Significant conservation and reconstruction of the masonry walls would also be required to overcome the damp issues and settlement within the masonry structure.

It is considered that due to the extent of decay to the fabric and required reconstruction, this work would substantially reduce the cultural significance of the place and result in a replicated building with no original fabric or patina. It is considered that having regard to the current state of the building, associated issues of safety and health of the public and the economic undertaking to reconstruct the building, there remains no realistic prudent or feasible alternative to its demolition.

¹⁶ Farr Engineers Associates Pty Ltd *Inspection Properties 82 & 84 Fitzroy St Warwick* 9 July 2007, Part 4.3

¹⁷ *ibid*, Part 5.2

4.2.2 84 Fitzroy

Conservation of the building will need to address two main broad issues:

1. The requirement to stabilise and repair the structure
2. The requirement to make the building useable and habitable, potentially with the need to upgrade the building to satisfy certain current building standards and codes.

A third issue relates to the ability to undertake the required conservation measures.

Due to the location of the wall adjoining Haig Avenue all conservation / building work related to stabilising the wall will likely need to be undertaken from within the property, from inside the building envelope. The need to undertake remedial work to the building from within the property will have a significant impact on the cost of the works and the potential damage to other parts of the fabric. Temporary shoring of the wall may be possible with approvals from the Queensland Department of Main Roads and the Police Station however we understand that there will remain a need to maintain public access to the shopping development.

We have been advised that the current owner does not possess the desire nor the resources required for the maintenance or the conservation of either of the buildings.

Based on our site inspection and the structural engineer's report,¹⁸ a possible scope of works for the main two-storey building's conservation to a state of minimal structural stability and occupancy would need to include:

Scope of Works

- Excavation of the subfloor area and replacement of damaged timber framing
- Excavation and underpinning of existing masonry footings – particularly in relation to the western stone wall
- Increase in subfloor ventilation through new grilles
- Chemical injected damp proof course to all masonry walls
- Removal of termite activity throughout the building
- Installation of termite barriers (physical where possible, chemical where no alternative)
- Temporary shoring of western wall and internal floor framing
- Removal and replacement of existing ground level damaged timber flooring
- Possible deconstruction and rebuilding of the existing western stone wall
- Possible incorporation of internal steel bracing measures
- Possible strengthening and bracing of the first floor frame structure
- Removal of damp affected plaster and replastering of masonry walls
- Repair/ reconstruction of termite /rot damaged timber members to eastern shopfront
- Fine detail repair work of cracked plaster

¹⁸ Farr Engineers Associates Pty Ltd *Inspection Properties 82 & 84 Fitzroy St Warwick 9 July 2007*

- Repair / reconstruction of any portions of the single storey service wing that are retained.
- New electrical services
- New plumbing & toilet infrastructure (preferably in the service wing of the building)
- Repair / reconstruction of damaged timber frames, windows and doors and trims.
- Repair / reconstruction of damaged timber ceilings and cornices.
- Repair / reconstruction of damaged fireplaces and associated mantelpieces and hearths
- Repair / reconstruction of verandah timber frame, flooring and balustrades.
- Repair /reconstruction of rainwater goods and ground stormwater conditions.
- Potential upgrade of portions of the structure to meet current Building Code requirements.
- Potential upgrade of the structure to meet other current statutory requirements such as the Disability Discrimination Act.

The amount of consolidation required for this building raises the question of whether the extent and cost of work is justified in relation to its cultural heritage significance. In this instance, it is considered that this particular building possesses greater cultural significance in relation to the development of Warwick than 82 Fitzroy St.

4.3 Retention / Development Options

Retention development options that have been reviewed with the development team include the following:

Option 1 – Do nothing

This option would involve the client not purchasing the buildings from the current owner. This would have two principal affects:

1. The shopping centre expansion would not be undertaken. We understand that without the site area of the two buildings the development cannot provide the required space or infrastructure to satisfy its retailers or to be economically viable. The failure of the expansion of the shopping centre is considered to have other potential ramifications for the city centre of Warwick which are explained within the accompanying town planning report by Urbis.
2. The buildings would fall further into disrepair as the current owner has no resources to maintain or repair the buildings. Without significant structural repair and conservation the buildings cannot be safely occupied. As previously noted, the buildings are considered to be in a structurally compromised condition such that without this remedial work being undertaken, they will continue to degrade and likely collapse in the near future.

Impact on Cultural Significance

The outcome of this option would likely result in the total loss of the buildings and any related understanding of the cultural significance to the development of Warwick.

This option serves neither the retention of cultural heritage for Warwick nor the developer.

Option 2 – Demolition of both buildings

This option would involve application for the demolition of both buildings, based on their current dilapidated condition and their potential impact to public safety.

As previously noted, 82 Fitzroy St requires substantial reconstruction to the point where little original fabric would remain. This reconstruction would impact upon the cultural significance of the remaining fabric to the point that little fabric of importance would remain. It is therefore considered that the removal of 82 Fitzroy St is acceptable on the grounds of no prudent or feasible alternative.

No. 84 Fitzroy St also requires substantial conservation in relation to its structural stability. The extent of work has been outlined in the previous section. The extent of the repairs and reconstruction are significant in terms of costs and logistics. The current state of the building, in terms of its safety, health to the public and the cost of repairs would potentially support an argument for no prudent or feasible alternative other than its demolition. The longer the building remains in its current state of degradation, the stronger the argument becomes in relation to its removal on grounds of public safety.

A potential benefit from this option may be the salvaging of materials such as the doors and windows, stone block work and timber roof frames for future stockpiling and repair for other similarly constructed heritage-listed buildings in Warwick and the shire.

Impact on Cultural Significance

The outcome would be the total loss of the buildings and any related understanding of their cultural significance to the development of Warwick.

Option 3 - Retain and reconstruct both

This option would require a substantial injection of time and capital in order to repair and reconstruct both buildings. This would not be undertaken by the developer of the shopping centre as it would frustrate his ability to successfully expand the shopping centre. (Refer option 1)

This approach would require an alternative benefactor or consortium to undertake the project. It is considered that from an economic view, the cost of the works would exceed the potential economic return that would be gained from the retention and reconstruction of the two buildings. This option would require a developer/ benefactor prepared to undertake the works irrespective of the cost.

Impact on Cultural Significance

This would provide a good outcome in relation to the conservation of the two buildings and the retention of cultural significance in general, however the extent of reconstruction of 82 Fitzroy St would impact upon the cultural significance of the remaining fabric to the point that little fabric of importance would remain.

Option 4 - Relocation

The carefully recorded deconstruction and relocation of both buildings would also impose a substantial cost and require an alternative appropriate site. The buildings would also require the same extent of reconstruction discussed in previous options. As previously noted, the extent of reconstruction of 82 Fitzroy St would impact upon the cultural significance of the remaining fabric to the point that little fabric of importance would remain.

Impact on Cultural Significance

An important part of their cultural significance is their relationship to the commercial development within the centre of Warwick and their contribution within the Fitzroy streetscape. Relocation would diminish this aspect of their cultural significance and potentially impact upon the understanding of the original use of the buildings.

Option 5 – Partial retention of 84 Fitzroy St only

Option 5 involves the demolition of 82 Fitzroy St and the retention and conservation of 84 Fitzroy St. This option would require the undertaking of the scope of works outlined earlier in this section.

The focus of retention and conservation of 84 Fitzroy St would include the two-storey main building and the two-storey verandah. Based on the Statement of significance, the two-storey structure possesses the most culturally significant and intact fabric. This portion of the building would be retained as part of the development proposal. It is recommended however that the single storey skillion-roofed rear service wing also be retained and altered to provide the required facilities for the building.

Impact on Cultural Significance

This option means the complete loss of 82 Fitzroy St and the cultural significance associated with that place.

The loss of 82 Fitzroy also impacts upon the streetscape significance and building context of 84 Fitzroy St. The removal of the rear western service wing will have a potential impact on the cultural significance of 84 Fitzroy, however this is considered minimal in respect to the retention of the principal building.

The cultural significance of Plumb's Chambers will be diminished however the principal understanding of the building and the main areas of culturally significant fabric will be retained or reconstructed. This remaining fabric could be supplemented with information and photographs displayed at the building to provide a clearer understanding of the original extent of the heritage listed place.

Although the outcome diminishes the cultural significance of the place, it at least allows for the retention/reconstruction of the most significant portions of the place.

4.4 Conclusion

Each option ultimately has a significant impact on the fabric and the cultural significance of the buildings. Based on the above options, their current condition and the summary statements of significance, it is considered that option 5 provides the most prudent and feasible alternative to the complete and progressive loss of both buildings.

On this basis, the following conservation policies have been drafted to guide the conservation approach for this option.

5.0 CONSERVATION POLICY

5.1 General Approach

Conservation policy provides an informed and pragmatic approach to the conservation of 84 Fitzroy St for its short and long term future. The policy is specific to the property and includes policies for the conservation of fabric, compatible uses, control of interpretation, and management of the place.

The following policies aim to provide the working boundaries and constraints within which future conservation and change may occur. They are presented as an explanation followed by the policy.

As previously noted in Section 4.4, the majority of the Conservation Policy relates to the conservation of 84 Fitzroy St.

5.1.1 The Burra Charter

The Australia ICOMOS Charter for the Conservation of Places for Cultural Significance (the Burra Charter) sets the standard for the conservation of heritage-listed places. The Charter embodies seven principles that guide formulation of conservation policy:

- The place itself is important
- Understand the significance of the place
- Understand the fabric
- Significance should guide decisions
- Do as much as necessary, as little as possible
- Keep records
- Do everything in a logical order

The Burra Charter also defines the terms which are used in the conservation policy. A brief description is set out below. A more thorough description can be found in Appendix 4.

Place means site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.

Cultural significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations. Cultural significance is embodied in the *place* itself, its *fabric*, *setting*, *use*, *associations*, *meanings*, *records*, *related places* and *related objects*.

Fabric means all the physical material of the *place* including components, fixtures, contents and objects.

Conservation means all the processes of looking after a *place* so as to retain its *cultural significance*.

Maintenance means the continuous protective care of the *fabric* and setting of a *place*, and is to be distinguished from repair. Repair involves *restoration* or *reconstruction*.

Preservation means maintaining the fabric of a place in its existing state and retarding deterioration.

Restoration means returning the existing *fabric* of a *place* to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

Reconstruction means returning a *place* to a known earlier state and is distinguished from *restoration* by the introduction of new material.

Adaptation means modifying a *place* to suit the existing use or a proposed use.

Compatible use means a use which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.

Plumb's Chambers (82 & 84 Fitzroy St) form an established place of cultural significance. The following policies are to be applied to the conservation of the place.

Policy 1: Future work on the place should be in accordance with the principles of the Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (the Burra Charter) and its Guidelines.

The cultural significance of *Plumb's Chambers* is embodied in the physical fabric of the place. Section 3.4 sets out the relative significance of a wide range of these elements and attributes a graded scale ranging from those elements of exceptional significance down to those which are intrusive. It follows that conservation action should be related to an element's relative level of significance. As a general guide, the following approaches are recommended:

- Elements of **exceptional significance** must be retained and appropriately conserved (eg maintained, restored, reconstructed, and adapted). These elements are considered essential to the understanding, appreciation or cultural value of the place.
- Elements of **considerable significance** should be retained and appropriately conserved (eg maintained, restored, reconstructed, and adapted). These elements are considered important to the understanding, appreciation or cultural value of the place but intervention in a sensitive, controlled and limited manner could be possible.
- It is desirable that elements of **some significance** be retained and appropriately conserved. These elements are considered useful, but not essential, to the understanding, appreciation or cultural value of the place and sensitive intervention would be acceptable.

- Elements of *little or no significance* need not be conserved. Intervention and/or new work are appropriate provided that no nearby areas of higher cultural significance are compromised.
- Elements which are *intrusive* should be removed and original form reconstructed or new compatible adaptation made.

Policy 2: Conservation action should be appropriate to the level of significance of individual elements.

The building was initially built as commercial enterprise consisting of two shops at the ground floor with residential accommodation above. Although there have been a variety of uses for the building, it has generally continued in the role for which it was initially built. This commercial role is considered its most appropriate use and is encouraged.

Policy 3: The use of the building as a commercial building with residential accommodation above is the most appropriate use of the place and if possible, should be its primary use.

As modern aspirations for residential accommodation have changed dramatically, an alternative use of the upper floor is likely to be required. An alternative use is an acceptable approach providing that the significant fabric on the floor is retained and not detrimentally compromised. Possible uses for the upper floor (and also the ground floor) may include professional suites/offices for small companies, small community groups, meeting rooms or function rooms for community gatherings.

Alternative uses for the building are possible and considered necessary for the continued occupation of the building, however in order to conserve the significance of the place, any alternative use needs to be compatible with the significance of the place. Future alternative uses may be compatible provided any adaptation conformed to the conservation policy.

Policy 4: A use other than that set out in Policy 3 may be considered if it is compatible with the place's significance. Uses or activities which confuse or obscure the cultural significance of the place should not be permitted.

The planning of the building is an important aspect of its significance and is demonstrated by the building's current form, layout and arrangement of rooms and spaces. The building retains its original plan form, providing a clear understanding of the planning layout of the main 2-storey building.

Any new use should therefore be compatible with the original plan form and utilise the room layouts and hierarchy of large and small spaces from this era wherever possible. Uses which require the subdivision of the main rooms and spaces or the amalgamation of individual rooms into larger spaces may not be compatible. While the building itself is adaptable, the manner in which it is adapted / extended or amalgamated is important to the understanding of the building.

Policy 5: New uses or plan changes should respect the original 19th Century planning layout and hierarchy of the building.

5.2 Client's Requirements

There is an economic need and a desire to expand the existing retail development located on the block bounded by Guy, Grafton, Palmerin and Fitzroy Streets in Warwick's CBD. This expansion is also supported in principle by the local authority.

The development proposal includes the purchase of the two subject buildings as part of the expansion of the shopping centre. According to the client, without the purchase of these two buildings and the removal of 82 Fitzroy St, the expansion of the development would not meet tenancy needs or be economically viable and would not proceed. As previously noted, the failure of the expansion of the shopping centre is considered to have other potential ramifications for the city centre of Warwick which are explained within the earlier town planning report prepared by Urbis.¹⁹

The client acknowledges the need to conserve the cultural significance of the buildings where prudent and economically feasible to do so however is also aware that an economic balance must be achieved for this to occur. The proposal to remove 82 Fitzroy St and partially retain, conserve and reuse 84 Fitzroy St provides an acceptable solution and economic balance for the client.

Adaptations and additions will be required to ensure the building is structurally sound, habitable and commercially useable. The client acknowledges the need to undertake this work and that any conservation, redevelopment work, and future change should be guided by this Conservation Policy.

Policy 6: Any future building proposals, building work or maintenance work should be in accordance with the policies set out in this Report. Proposals that are not in accordance with this Policy document should only be implemented after a revision of the whole Conservation Assessment Report results in a conclusion that such proposals are consistent with the revised Report.

5.3 External Requirements / Legislation

5.3.1 Local Authority Provisions

As previously noted in Section 3, the buildings are listed within the Local Authority's Heritage Register and therefore are subject to the provisions required by that policy in relation to development (other than *Minor works*) of the place.

¹⁹ Urbis, Town Planning Report *Integrated Retail Development*, Oct 2007

5.3.2 Queensland Heritage Act

The buildings are also entered on the Queensland Heritage Register and are subject to the Queensland Heritage Act. The owner of the place is bound to comply with the requirement of the Act. In this instance, approval for demolition of 82 Fitzroy St and partial demolition of 84 Fitzroy St is sought from the Queensland Heritage Council in their role as concurrence agent to the local Authority.

5.3.3 State and Federal Statutory Requirements

A number of Queensland and Federal Acts dealing with building works and building services can affect conservation work on a heritage-listed place. These include but are not limited to:

- Building Act and Regulation (incorporating the Building Code of Australia);
- Queensland Development Code
- Building Fire Safety Regulation;
- Sewerage and Water Supply Act and Regulation;
- Workplace Health and Safety Act and Regulation;
- Gas Act and Regulation;
- Queensland Heritage Act and Regulation
- Integrated Planning Act
- Disability Discrimination Act

Of this legislation, the **Building Code of Australia (BCA)** would place most constraints on work on the building if rigorously applied. The code is primarily intended for new construction and does not easily adapt to sensitive treatment of culturally-significant building fabric. The level of compliance with these and other statutory requirements that can reasonably be achieved will need to be assessed in terms of their impact on significant fabric. Appropriate concessions or unique solutions may need to be sought.

The **Disability Discrimination Act (DDA)** applies to buildings and property intended for public use. The DDA makes it unlawful to discriminate against people with disabilities, particularly with concern to accessibility of buildings. This legislation can conflict with the requirements of heritage legislation, particularly with regard to the retention of cultural significance. The view of the Human Rights and Equal Opportunities Commission (HEROC) is that the DDA will override heritage legislation in the event of any inconsistencies.²⁰ The DDA is a complaints-driven Act with no written standards guiding the building designer or owner. It is therefore wise to have an Access Plan in place when carrying out new work on heritage buildings, particularly if they are open to the public. The Access Plan should be presented to relevant authorities, particularly HEROC for endorsement as this may reduce the risk of potential action under the DDA. Approval of heritage authorities is also usually required.

²⁰ www.hreoc.gov.au/disability_rights/faq/Access/access.html#heritage

The **Integrated Planning Act (IPA)** definition of "Development" includes carrying out *building work*; carrying out plumbing or drainage work; carrying out operational work; reconfiguring a lot; or making a material change of use of premises. For administering IDAS (the Integrated Development Assessment System) under the Queensland Heritage Act, *Building work* includes:

- painting or plastering that substantially alters the appearance of a place;
- renovations, alterations or additions to the place;
- excavations, disturbances or changes to landscape or natural features of land that substantially alters the appearance of a place; or
- work on furniture, fittings and other objects associated with the place and that contribute to the place's cultural heritage significance.

The Act also makes provision for heritage agreements to be entered into and for exemption certificates for minor works to be issued.

Current relevant legislation must be considered when undertaking proposed development and conservation to a heritage-listed property.

Policy 7: Any work undertaken to the place should meet all relevant legislative requirements and should be undertaken so as to minimise impact upon any significant fabric.

Policy 8: This Policy document should be used to help satisfy statutory approval requirements.

5.3.4 Equitable Access

The buildings have been vacant for approximately 15 years. Both buildings have shopfront stepped entries which would not comply with current public accessible requirements. The front ground floor entries to the buildings align to the public footpath. Side entries are available to secondary spaces on the ground floor; however these do not provide principal entry to the main shopfronts. Little opportunity to provide alternative entries exists other than intervention into the fabric of the building, impacting on the cultural significance of the shopfronts.

Access to the upper levels are currently provided by timber stairs that no longer comply with current BCA requirements and as a result may also be considered a potential safety risk in terms of egress and general use.

As previously noted, the **Disability Discrimination Act (DDA)** applies to buildings and property intended for public use.

According to the HEROC website, heritage issues can sometimes be taken into account in determining whether barriers to access are unreasonable. If to provide full and equitable access would involve the destruction or removal of significant heritage value, in some circumstances making these alterations could be found to involve unjustifiable hardship. This does not mean however that heritage concerns will be accepted as outweighing the need to provide equal access in any particular case.

The HEROC recommends that:

Organisations which occupy or are responsible for heritage buildings need to ensure that they have looked closely at alternative means of providing equal access which are not prevented by heritage considerations. This may include:

- *taking advice from experts or organisations with relevant expertise on sympathetic means of altering heritage premises to provide access*
- *where the premises are used to provide goods or services, identifying alternative or supplementary means of providing access to those services, to reduce the effect of limitations in access to the premises in excluding people from access to the goods or services concerned.*²¹

A detailed excerpt from the HEROC website is located in Appendix 5. It is suggested that an Access Plan should be prepared by a suitably qualified person to help resolve or minimise the impacts of the DDA.

Policy 9: A review and an Access Plan should be prepared and submitted to the HEROC and relevant authorities for endorsement.

Policy 10: The original stairs should be retained however removable, non-intrusive modifications (such as the build up of treads for correct riser heights) would be acceptable.

Policy 11: Although not desirable, the installation of alternative new stairs located at the rear of the buildings to minimise impact on the culturally significant fabric of the building would be acceptable.

5.4 Interpretation & Retention

82 Fitzroy St

The potential loss of 82 Fitzroy St will have a substantial impact upon the cultural significance of the place. It is recommended that prior to demolition of the building, measured drawings be undertaken accompanied by quality photographs for archival purposes.

Further, prior to undertaking further investigation and development work to the fabric, recording of the current location and condition of elements for future reference in possible reconstruction should be undertaken.

Policy 12: Before any demolition work is commenced, measured drawings and a basic photographic survey (not

²¹ www.hreoc.gov.au/disability_rights/faq/Access/access.html#heritage

necessarily to archival standards) should be carried out, catalogued and placed in an appropriate document archive.

84 Fitzroy St

84 Fitzroy St has many important characteristics that remain within the building and, depending on their physical condition, should be retained. These include:

- the external architectural features of the sandstone walls and openings and the roof form of the two storey building.
- the upper floor level internal lathe and plaster walls and room planning
- the two-storey verandah
- streetscape vistas of the building when viewed from a distance
- the 19th century internal planning layout
- the upper level internal timber joinery, including the stair
- the double hung timber windows and twin light French doors
- the upper floor timber ceilings, cornices and rosettes
- the eastern tenancy shopfront and space, including the entry door and timber ceiling
- the plastered stone walls on both levels.
- the fireplaces on both level

If some of these items have deteriorated beyond conservation, they should be reconstructed.

84 Fitzroy St retains most of its original plan form. While some internal alterations have occurred at the ground level, the planning of the building remains relatively clear. Consideration should be given to aspects of significance (such as planning layouts and spatial qualities) that may have been altered and that could be better expressed in the future. Such aspects include

- removal of the c.1940s timber wall partition in the central shop tenancy to retrieve the original single-room plan form evident in the eastern shop tenancy.
- Reconstruction of the lower flight and landing of the internal stair

Policy 13: Fabric and setting elements which help interpret the place as a substantial 19th Century Georgian-styled shop-house overlooking a town square, should be conserved.

Policy 14: Important lost characteristics of the place should be retrieved in the future, if possible.

The residential component of the building houses fireplaces on an internal masonry wall at each level. It is uncertain whether the entire fireplace surrounds and hearths remain, however the fireplaces should be retained (either sealed or working) as they help the understanding of the original building and its use.

Policy 15: Fireplaces, existing metal hearths and chimneys should be retained.

Generally, the method of interpretation should not be to stress any particular past time but rather to emphasise those elements which are of cultural significance.

5.5 Control of Intervention

The general approach to the extent of conservation work should be one of restraint. Do only as much work as is necessary to conserve the significance of the place but intervene as little as possible. Due to the current unstable condition of the building, more extensive investigation, intervention, conservation and reconstruction work will be required, particularly in relation to its future structural stability. Regardless, the principles outlined in the following policies still apply.

If some material needs to be replaced, then the extent of new material introduced should be limited to the minimum possible. The wholesale replacement or treatment of any significant element should be avoided in favour of a highly specific approach, eg. the replacement of individual floor joists or lengths of flooring, etc.

Policy 16: Physical intervention in the place's fabric of cultural significance should only occur for conservation processes.

Policy 17: Where intervention in the fabric is unavoidable, such intervention should be planned to occur in areas of least cultural significance and to cause the least possible damage to fabric of cultural significance.

Some elements such as the upper level floor framing and flooring require further investigation to establish their condition, significance and impact upon the overall condition of the house and, if warranted, the feasibility of their conservation.

Policy 18: Intervention in the fabric is permissible to guide conservation work but only where there are sufficient resources to carry out the conservation work.

The building will require intervention for structural, client use and legislative reasons. These interventions are necessary and acceptable however the areas where intervention occurs should be managed.

Policy 19: Appropriate areas for intervention to facilitate new uses include:

- ***to the ground floor tenancies spaces (with temporary internal low height partitions***
- ***selected openings of the ground floor internal masonry walls to allow 'connection' of the tenancy spaces – provided that the openings are not full height nor greater than an accumulated approximate 60% of the wall length.***

- *the east elevation (for potential fire escape stairs)*
- *the single storey skillion service wing (for wet area services, plant etc)*

Policy 20: The Introduction of wet area services should be avoided within the main two-storey building. If unavoidable, they should be minimised in their extent and restricted to the specific locations at in the rear half of the building. Modifications to the single storey skillion service wing for these services would be acceptable.

It is likely that signage will be required for the building as part of any new use. In order to provide signage that does not detract from the aesthetic and cultural significance of the building, a management protocol for signage should be prepared. This protocol should nominate the size, location, nature and fixing methods acceptable for use on the building. For example, modern obtrusive neon or backlit illuminated hamper signs should not be used. Signage with discrete and minimal fixing points should be encouraged. Painted signs to verandah gables and fascias or to the glass shopfronts would also be acceptable.

Policy 21: A Signage Management Protocol should be prepared for the management of building signage should be prepared. Reference should also be made to the Council's "Signage Guidelines for Heritage Buildings Policy".

5.6 Care of Fabric

Most of the cultural significance of the building is embodied in the physical fabric of the place. Policies are therefore appropriate for caring for the fabric, both generally and specifically. These are set out below.

Policy 22: Building fabric elements of cultural significance should be appropriately conserved within the constraints of this Policy document.

Policy 23: Conservation work on the place should be carried out by tradespeople skilled in traditional building trades and should be overseen by professionals skilled in conservation practice.

Not all of the fabric of the place has cultural significance. More recent fabric and repairs and service installations have little cultural significance or are intrusive elements. It is therefore appropriate that little or no constraint be placed on intervening in these elements.

Policy 24: Fabric identified as being of little or no cultural significance may be removed at any appropriate future time.

Policy 25: Identified intrusive elements should be removed or redesigned at an appropriate future time.

The building has substantial structural issues however there are portions of the fabric that appear in generally sound condition although they may show signs of age (such as timber ceiling linings, rosettes, internal doors and trims). Provided the elements remain presentable, functional and durable, this ageing process should not be interfered with. This includes such things as wear patterns on door handles and stairs, fine hairline cracks within lathe and plaster walls; and roof sheeting and flashings.

Policy 26: Fabric of cultural significance and patina should be retained wherever possible. The introduction of new material, no matter how authentic a copy, should only be considered as a matter of last resort when other means of conserving the fabric (preservation, restoration etc.) have been investigated and found inappropriate.

The building will require substantial structural repair and potential alterations including the introduction of new fabric. This is permitted provided that such fabric is introduced in a way which complies with these policies.

Policy 27: Replace as structurally required, portions of significant fabric affected by termite or water damage and reconstruct with materials matching the existing.

Policy 28: Existing significant timber window frames, door frames and linings should be retained and repaired to perform their original functions without wholesale replacement.

Policy 29: Reconstruction of original elements (such as gutter profiles, eaves, downpipes, and fascia treatments) should be pursued where evidence of original construction methods and finishes exists.

Policy 30: New fabric should be marked so as to be distinguishable from old fabric upon close inspection.

Policy 31: The installation of new finishes that conceal fabric of cultural significance should be avoided.

Policy 32: Where unavoidable, new finishes should be reversible and should be installed so as to cause the least possible damage to fabric of cultural significance.

Policy 33: Where it is necessary to introduce new fittings, these should be sympathetic modern fittings and not notional period reproduction fittings.

Policy 34: Original finishes to floors of cultural significance should be restored wherever possible.

Policy 35: Where it is not possible to restore original floor finishes, sympathetic non-damaging and reversible floor finishes such as coir matting, linoleum or carpet should be installed.

Policy 36: Any new fabric introduced into the place should be sympathetic to the style and design of the place but without being period reproductions or notional reconstructions.

A paint and colour investigation was not part of this commission. The building has external and internal painted finishes that will require future attention. A reconstructed colour scheme sympathetic to the building's original era would not only maintain the fabric of the place but express its character and potentially aid in its interpretation.

Policy 37: The exterior and interior colour schemes of the building should be interpreted to the 1870-1880s era, based on documentary and surviving physical evidence.

The building is known to have had surrounding ancillary buildings and structures, including an underground water tank. It is possible that archaeological remnants of these structures may remain within the grounds of the house. If any future work occurs in these areas, care should be taken during any excavation work to record any evidence that may still exist of previous structures.

Policy 38: Any previous building work or structures uncovered during new construction work should be recorded and archived for the ongoing conservation management of the place.

Section 2 of this report assessed the physical condition of the building and identified areas where substantial repair and care for the fabric will be required. These are set out below:

5.7.1 External

External sandstone walls: The external walls exhibit areas of structural instability, particularly in the western elevation. A combination of underpinning, external and internal bracing and reconstruction of the walls is considered necessary.

Policy 39: Undertake the necessary structural modifications to ensure the long term stability of the stone walls. Locate where possible additional supports, tie rods and the like so as to minimise their visible and physical intrusion into the

fabric. For example, locate horizontal bracing members within the floor structure or above the ceiling line.

Policy 40: *Where reconstructions of the wall are required, record block locations prior to deconstruction and re-lay to match original locations. Re-lay using a mortar mix matching the original.*

Policy 41: *Where strengthening of floor framing is required locate where possible additional supports and beams so as to minimise their visible and physical intrusion into the fabric.*

Two-storey timber verandah: Including timber valences, posts and capitals, timber tongue & grooved flooring and balustrades.

Policy 42: *Retain and restore the verandah and the verandah timber components.*

Verandah ground floor ripple iron soffits and associated perimeter guttering:

Policy 43: *Retain and restore where verandah ripple iron soffits and associated perimeter guttering.*

Skillion roof service wing:

Policy 44: *Retain and restore the form and masonry walls of the single storey skillion service wing. Intervention to these existing walls and concrete slabs is permissible. Refer also Section 5.6 policies.*

Stormwater is not currently well captured and controlled as downpipes are rusted or missing in places. This coupled with issues of rising damp and the lack of a damp proof course needs to be addressed.

Policy 45: *Roof guttering and downpipes are in poor condition and can be replaced to original profiles and materials where evidence exists.*

Policy 46: *Water from downpipes should be discharged away from the buildings ground level walls and directly into external stormwater pits or gullies.*

Policy 47: *The perimeter ground level should be cleared of debris and lowered to ensure that there is adequate clearance between the finished ground and the damp proof courses of the building. Ensure existing subfloor ventilation grilles are clear and functioning.*

Policy 48: *Measures to minimise rising damp in the masonry walls such as the use of chemically injected damp*

proof courses or the provision of perimeter subsurface drains should be investigated.

5.7.2 Internal

The ground floor of the building suffers from rising damp and deteriorating floor framing. The reconstruction of the ground floor would likely be combined with efforts to provide structural stability to the masonry walls (underpinning) and greater sub floor clearance and ventilation to combat rising damp and rot.

Policy 49: The ground floor timber sub-floor area should be investigated for potential damp, water ingress, ventilation and structural integrity of the floor framing. Unless the existing design of this area and the ventilation requirements are found to be inadequate, any rectification of this area should reconstruct with matching materials to the original details.

Policy 50: a) Record, remove, and salvage the ground floor framing and flooring for later reinstatement where possible. b) If required, increase sub floor ground clearance through excavation and clear and provide additional sub floor ventilation grilles. c) Reconstruct timber floor framing and provide where possible physical termite and damp proof barriers. Where strengthening of the floor framing is required locate where possible additional supports and beams so as to minimise their visible and physical intrusion into the fabric.

Timber mouldings and joinery: Most of the early timber window and door architraves, doors, panels and trims appear to remain. Although some may have suffered termite attack or rot, sufficient remains for reconstruction and preferably restoration. Timber ceilings, cornices and metal rosettes also remain in most rooms.

Policy 51: Restore where possible, on a room by room basis, early joinery and mouldings to their original finish.

Evidence of lathe & plaster walls remain throughout the upper floor level of the building.

Policy 52: Investigate and confirm the extent of lathe & plaster walls and where considered original, conserve where possible, on a room by room basis.

The internal masonry walls retain their original plastered finish, although most areas have suffered extensive damp at the ground level and extensive cracking on the upper level due to settlement/movement of the perimeter walls. Regardless, these plaster finishes constitute original fabric and should be retained and repaired.

Policy 53: Investigate the extent of plastered masonry walls and repair and patch with matching materials and techniques, those areas affected by settlement or damp.

Timber stairs:

Policy 54: Retain and maintain the existing upper flight of the internal timber stair between ground and the upper level; and the stair leading to the roof space. Alterations, introduction of new timber materials, additions or fittings should not be permitted other than for necessary reconstruction and repair. Refer also Section 5.3.4 Policies.

It is expected that modern furniture, cabinets, electrical equipment and the like will be installed as part of the reuse of the building. These elements can potentially damage existing significant fabric if improperly located without due consideration of the fabric. The placement of 'loose equipment' should be carefully considered and its proper use be imparted to the occupiers of the building.

Policy 55: Ensure existing fabric is properly protected from damage by short-term and long-term introduced loose equipment, fixtures or fittings, through physical separation and clear use management policies for the place.

5.7 Provision of Building Services

Recent methods of installing Building services appear minimal and appear to be mainly surface-mounted electrical services. The building has no air-conditioning, kitchen services or plumbing within the main two-storey component.

It is likely that all existing wiring will require replacement and that additional services will be installed. While it is accepted that changing demands on the buildings will result in the introduction of new building services, this should and can be done sensitively.

Policy 56: Physical intervention in the building fabric for the installation of building services should be avoided wherever possible.

Policy 57: Where intervention in the building fabric for the installation of building services is unavoidable, such intervention should be planned to avoid damage to fabric of cultural significance and, when exposed to view, should be readily reversible.

Policy 58: To allow the installation of new building services:

- chases are permitted only in plastered masonry walls but not through profiled cornices and finer details;

- *ceiling-suspended pull switches are preferable to chased or exposed conduits;*
- *timber skirtings and architraves may be removed, used to conceal wiring and reinstated to their original positions;*
- *surface-mounted skirting ducts should be avoided;*
- *small ceiling-mounted fittings, such as detectors and small light fittings are generally permitted;*
- *floor ducts are permitted where created within the depth of the timber floors in areas where the floor finish is not to be restored and where the structure permits;*
- *surface-mounted vertical risers are permitted provided their style and finish is compatible with the cultural significance of the space through which they pass. Wherever possible, vertical risers should be located in minor spaces of least cultural significance;*
- *existing openings in ceiling roses should be used as the outlet for electrical cabling for any future suspended light fittings instead of new ceiling penetrations;*
- *connection points and number of new suspended fittings required elsewhere in the ceiling should be minimised;*
- *light fittings and electrical accessories (switch plates, GPOs) should not be period reproductions but discrete modern fixtures;*
- *air-conditioning units should at best, not be exposed to view and at worst, discreet in location and appearance, in interior space. Any associated works should be positioned to avoid damage to lathe & plastered walls, timber ceilings and other significant fabric;*
- *external air-conditioning units should be concealed from view and positioned to avoid damage to significant external fabric.*

Policy 59: New building services part of new building works or additions should be modern in appearance and not period reproductions.

5.8 Setting and Landscape

Much of the aesthetic and townscape significance of the building lies in its form and association with similar sized buildings in the streetscape, most notably the police station and the courthouse. The streetscape views towards the building are therefore important in maintaining this significance, even if individual elements have gone or are changed.

Policy 60: Views of the building from Leslie Park and from either approach along Fitzroy Street should be retained.

To adapt to the requirements of its current use as administration offices, future redevelopment of some existing facilities and further site development may probably be required. This process maintains the building's viability as a useable building which, in turn, justifies the considerable expense of its conservation. Provided future development does not detract from the cultural significance of the building, it should be permitted subject to external planning controls and satisfaction of the policies in this Plan.

Policy 61: Future development of the site should not adversely affect the cultural significance of the building and its setting:

- ***do not build substantial structures that interrupt the view / sight lines of the building from either approach along Fitzroy Street***
- ***do not add to the principle two-storeyed verandahed portion of the building***
- ***do not build additions higher than the eaves height of the main roof form.***

In general, areas where additional development may occur (subject to the nature of the proposal) with least impact on the significance of the place include the rear courtyard area and the rear single-storey skillion service wing.

Policy 62: The rear single-storey skillion service wing is an appropriate area for minor intervention and new minor building additions.

Policy 63: The rear courtyard is an appropriate area for minor intervention and new minor building additions provided that any such additions do not detract from the existing built form of the house.

5.9 Management

It is good management practice to put in place a maintenance plan that will regularly monitor the condition of the place and attend to minor maintenance issues before they become major issues. Systematic maintenance will also conserve significant fabric longer for the ultimate benefit of the building and future generations.

Policy 64: A comprehensive maintenance plan with a dedicated budget should be implemented to guide on-going maintenance work on the building.

For successful long-term interpretation and implementation of the Conservation Policy, continuity of competent advice is important to avoid ad hoc or ill-advised decisions.

Policy 65: Persons with relevant expertise and experience in conservation projects should be engaged for the consistent interpretation of the Conservation Plan and the resolution of conservation issues as well as for the design and administration of work on the house.

While the majority of the issues dealt with in this Conservation Policy are unlikely to change, changes in use, attitude, tenure or legislation may require consideration of new or different information affecting the conservation management of the house. The Conservation Policy should respond to any such change in circumstances.

Policy 66: This Conservation Policy should be reviewed at the end of any major refurbishment program and thereafter every ten years or when major changes that significantly affect the place occur such as disposal by the owners, change in use or significant damage to or destruction of fabric by natural disaster. Such reviews should include a new inventory of elements and a review of the physical condition of the fabric.

Policy 67: Should the current owner cease being the owner and manager of the buildings, the new owner should ensure that all works to the physical fabric and setting of the place and all uses of the place are properly-controlled and compatible with the conservation policies set out in this detailed conservation policy and any created management plan as identified in Policy 64.

6.0 CONCLUSION

Although both subject buildings (82 & 84 Fitzroy St) form an important part of Warwick's cultural heritage, their existing condition presents a substantial impost on the retention and conservation of both buildings. At present neither building are considered habitable or able to perform their original function as shop and residence.

Due to the condition and extent of reconstruction required to 82 Fitzroy St, it is considered that an appropriate conservation approach is to allow the removal of 82 Fitzroy St and to consolidate conservation efforts on the more culturally significant sandstone building, 84 Fitzroy Street. An appropriate form of conservation and adaptive reuse is considered an acceptable approach for the future long term conservation of 84 Fitzroy Street.

Future conservation work, adaptation and maintenance for the building, as well as proposed adjacent redevelopment ought to respect the cultural significance of the remaining place (84 Fitzroy St) and be guided by the policies set out in the Conservation Policy section of this report.

APPENDICES

1. QLD Heritage Register Entry
2. Structural Engineer's Report
3. Qld Act Assessment Criteria
4. Burra Charter Definitions
5. Heroc website excerpt on access
6. As existing Drawings – 84 Fitzroy St

APPENDICES

1. QLD Heritage Register Entry
2. Structural Engineer's Report
3. Qld Act Assessment Criteria
4. Burra Charter Definitions
5. Heroc website excerpt on access
6. As existing Drawings – 84 Fitzroy St

APPENDIX 1

QLD HERITAGE REGISTER ENTRY

QUEENSLAND HERITAGE ACT 1992

Certified Copy Of An Entry in the Heritage Register pursuant to Section 33 (1) (a)



Reference: CC710

Place ID	601725			
Name	Plumb's Chambers			
Former name(s) / other	Medical Hall			
Location	82 & 84 Fitzroy Street WARWICK 4370			
RPD	Lo/s 1 ROAD19	Lo/s 1 RP5801		
	Lo/s 2 RP5801	Lo/s 1 RP94676		
Local authority	SOUTHERN DOWNS REGIONAL COUNCIL			
Map Sheet	WARWICK			
Map Projection	56			
Grid	Easting:	405001		
	Northing:	6878682		
Boundary Description	Whole property			
Other Listings				
Protected Area/Object		Approval	Removal	

Heritage Significance

Plumb's Chambers is a place of cultural significance and satisfies one or more of the criteria specified in s.34(1) of the *Queensland Heritage Act 1992* as evidenced by, but not exclusive to, the following statement of cultural heritage significance, based on criteria A, B and C, D, E, H.

Criterion A	Plumb's Chambers, comprising a brick and timber building possibly dating to the 1860s and an 1874-75 stone building, is important in illustrating the transformation of Warwick in the late 1860s and 1870s from a squatters' town to the principal urban centre of Queensland's most prosperous pastoral and agricultural district. The possibly c1860s brick building may represent the beginnings of this movement, and the 1874-75 building is indicative of Warwick's first building boom. Both buildings also illustrate a tradition of masonry construction in Warwick and district dating from at least the 1860s and sustained well into the early 20th century, which sets the district apart from any other in Queensland.
Criterion B	The 1874-75 building survives as an excellent example of a substantial, two-storeyed, stone building with commercial premises on the ground floor and residence on the first floor, designed to impress and inspire confidence. Few buildings of this type and material have survived in Queensland, and even fewer Georgian-styled stone shop-houses in Queensland overtook a town square. The building provides rare evidence of the nature of the accommodation and work place of a successful 1870s business family in a developing Queensland rural town. More particularly, it is important in illustrating the nature of such buildings in a town in which stone and brick construction for commercial buildings was the norm at this period.
Criterion C	Both buildings are important in illustrating the design, materials and construction techniques of mid-19th century masonry building in Queensland, and both have potential to reveal further information about 19th century stone and brick construction.
Criterion D	Both buildings are important in illustrating the design, materials and construction techniques of mid-19th century masonry building in Queensland, and both have potential to reveal further information about 19th century stone and brick construction.

mmllshd

for Chief Executive, Environmental Protection Agency

Date: 14/04/2008

Note: This certificate is valid at the date of issue only.

Page 1 of 7

000162

QUEENSLAND HERITAGE ACT 1992

Certified Copy Of An Entry in the Heritage Register pursuant to Section 33 (1) (a)

Reference: CC710



Criterion E	The 1874-75 building survives as an excellent example of a substantial, two-storeyed, stone building with commercial premises on the ground floor and residence on the first floor, designed to impress and inspire confidence. Both buildings occupy a prominent role in the streetscape along Fitzroy Street between Guy and Palmerin Streets, and the pitch of the roofs contribute to the unity of the street.
Criterion H	The 1874-75 building is significant also for its close association with Warwick chemist and seedsman David Clarke, who made a substantial contribution to the expansion of agriculture in the Warwick district in the 1860s and 1870s.

History

Plumb's Chambers comprises two distinct buildings. One is a substantial, two-storeyed stone building with rear service wings, constructed in 1874-75 for Warwick chemist and seedsman David Clarke. This building functioned as shops on the ground floor with residential accommodation above. The second comprises a small, two-storeyed brick and timber building with brick extensions at the rear. From photographic evidence, sections of this building appear to pre-date the adjacent 1874-75 stone building.

The whole site was initially part of allotment 12 of section 21 in the Town of Warwick (comprising 2 roads), first sold at auction in September 1857 for £4. In 1866 title to the whole of the allotment passed to Frederick Hudson, public of Warwick, who purchased the land for £40. It is not known whether improvements had been made to the property by this date. Hudson transferred the property to his wife Margaret, who subdivided the block into three parts, selling off the western and eastern subdivisions in 1868. Mrs Hudson retained the middle subdivision, on which the present brick and timber building stands, until 1876.

The 1874-75 Stone Building (No.84 Fitzroy Street)

The western part of the allotment, about 29 perches. (later subdivision 1) was sold for £60 to David Clarke, chemist and druggist of Warwick, and title was transferred to him in May 1868.

Clarke, an Irish Protestant emigrant and dispensing chemist since c1856, arrived in Warwick in 1867. During the next 15 years he played an important role in the development of agriculture in the Warwick district, at a period when powerful local pastoralists were still strongly opposed to opening the land to selection. Clarke actively promoted the expansion of agriculture on the southern Darling Downs, specialising in the importation of seeds (including cotton and Indian wheat) and fruit trees likely to succeed in the district. In late 1867 he instigated the formation of the highly successful Eastern Downs Horticultural and Agricultural Association, established in October that year. He was the Association's first secretary, and retained that position for well over a decade. In the early 1880s Walter Hill, curator of the Botanic Gardens in Brisbane, said of David Clarke that he had . . . done as much to foster and encourage agriculture as any man he knew of in the colony, and who had placed the district under considerable obligation to him . . . Clarke also took an active role in Protestant work and was nominated for the 1880 Warwick town council elections.

In May 1867 Clarke had established a wholesale and retail Drug, Grocery and Seed Warehouse in Warwick in rented premises at the corner of Fitzroy and Albion Streets, opposite the first Bank of New South Wales. By October 1869, Clarke's business had proved so successful that he was able to separate the drug and seed departments from his grocery business, moving the former into a purpose-built addition which opened on 15 November 1869 as the Medical Hall. In the early 1870s business expanded with a branch opened at Quatpot Creek (Stanthorpe) following the discovery of tin early in 1872 (this branch seems to have been short-lived) and in May 1872 a move across Fitzroy Street to larger premises formerly occupied by the Bank of New South Wales.

Clarke's success in Warwick as a dispensing and manufacturing chemist and seedsman culminated in


for Chief Executive, Environmental Protection Agency

Date: 14/04/2008

Note: This certificate is valid at the date of issue only.

Page 2 of 7

000163

QUEENSLAND HERITAGE ACT 1992

Certified Copy Of An Entry in the Heritage Register pursuant to Section 33 (1) (a)



Reference: CC710

1874 with the selling off of his grocery business to George P Barnes (formerly Clarke's assistant) and William Lavers in October, and the construction of substantial new stone premises on the Fitzroy Street land he had acquired in 1868 from Margaret Hudson. The site overlooked the Square (now Leslie Park) and was just down the road from the new Bank of New South Wales on the southwest corner of Palmerin and Fitzroy Streets.

The new Medical Hall must have been well under construction when Clarke called tenders for the carpenter's work in October 1874 and the plasterer's work in January 1875. In late February 1875 Clarke advertised for sale the portable building then occupied by his chemist shop - this was located in Fitzroy Street, but on which allotment is not clear - and the new stone building must have been close to completion at this time.

When completed, Clarke's two-storeyed stone building contained residential accommodation on the first floor and at least two shops on the ground floor. Besides accommodating Clarke's Medical Hall, from May 1875 Barnes & Lavers, grocers, also moved into part of the building. By August 1877 Barnes and Lavers had moved out, but two grocery shops as well as the Medical Hall were operating on the ground floor from August 1877 to March-April 1878.

The building was erected during the town's first 'boom', when Warwick was transformed in the late 1860s and 1870s from a squatters' town into the principal urban centre of a prosperous pastoral and agricultural district. It was a substantial building and made a prominent contribution to the streetscape. Retailers in nearby premises frequently advertised in the 1870s-early 1880s as 'adjoining' or 'adjacent' to David Clarke's chemist shop.

In the early 1880s David Clarke passed the running of his business to his son, Charles De Lacy Clarke, also a licensed chemist, and left Warwick early in 1882. Charles Clarke then took over the Medical Hall in his own name, but by September/October 1882 had purchased a business in St George, advertising the Warwick building for rent. At that period the main building comprised 15 rooms, with a large shop and storeroom on the ground floor, residential accommodation on the first floor, bathroom, kitchen, stables, coach-house and a large underground water tank with pump.

Despite an attempt in 1893 by David Clarke's mortgagor, the Queensland Investment and Land Mortgage Co. Ltd, to sell the property, the title remained in Clarke's name until November 1909, when it was transferred to retired Freestone farmer and grazier, James Wilson. During the period 1883-1909 the property was let either as a house, store or both. Tenants included Dr William Tilley, surgeon at the Warwick hospital, from 1887-89; Mrs WD Wilson, storekeeper and widow of a former Warwick businessman and Mayor, 1891-94; and S Benjamin, wine and spirit merchant, from 1899 until at least the early 1900s.

James Wilson occupied the stone building as his town residence for less than a year before his death in September 1910. However, in mid-1910 he had requested and received permission from the Warwick Town Council to erect a balcony over the footpath in front of his stone buildings, and was in the process of carrying out what were described in the local press as extensive alterations to his home when he collapsed. It is understood that the present balcony and some rear renovations date to this period.

The brick and timber building [No.82 Fitzroy Street]

Mrs Hudson retained the middle section of allotment 12 until 1876. Photographic evidence reveals several structures extant on the site c1872; whether any of these survive as part of the present brick and timber building has not been established, although it is possible. In April 1869 Mrs Hudson had advertised to let Berger's old blacksmith's shop adjoining the Royal Exchange Hotel, (the hotel was on the southwest corner of Fitzroy and Palmerin Streets, on the site later occupied by the Bank of New South Wales). Warwick historian Thomas Hall recalled in 1925 that Henry Berger opened a


For Chief Executive, Environmental Protection Agency

Date: 14/04/2008

Note: This certificate is valid at the date of issue only.

Page 3 of 7

000164

QUEENSLAND HERITAGE ACT 1992

Certified Copy Of An Entry in the Heritage Register pursuant to Section 33 (1) (a)



Reference: CC710

blacksmith's shop in Fitzroy Street, and it may have been on that part of allotment 12 which Mrs Hudson still held in 1869.

In November 1876, title to this property, about 34.5 perches (later subdivision 3 of allotment 12 of section 21), was transferred to Charles Joseph Isambert, wine and spirit merchant of Warwick, who had paid £325 for the site. A c1899 photograph reveals two buildings on this site: the present two-storeyed brick and timber building, and a single-storeyed timber shop to its east. Warwick Municipal Council rate records reveal that Isambert ran a business in one of these buildings from at least 1881, and that the other was let from 1881 to 1894 to Henry Borger, blacksmith, and in 1895 to John Borger, also a blacksmith. The eastern-most shop was replaced by 1901 with a cottage (since demolished) erected for Isambert's daughter, Mary Ann Saunders. No tenant occupied the site after 1895, suggesting that the blacksmith's shop was the single-storeyed timber structure replaced by 1901 with Mrs Saunders' cottage, and that Isambert's business was conducted from the present brick and timber building.

CJ Isambert had held the license for the European Hotel in Grafton Street, Warwick 1872-75. By December 1876 he had a boot warehouse in Guy Street, removing in March 1878 to larger and more convenient premises in Fitzroy-street, adjoining Mr Clarke's chemist shop. This is likely to be the present brick and timber building, on land he had acquired in 1876. No record has been found of premises being erected for Isambert on this site or any other at this period, and it is likely the building to which he removed in 1878 was extant at the time he acquired title to the property in 1876. His business was still located in Fitzroy Street, opposite the Square, in January 1880, and by August 1882 he had disposed of his boot stock and opened a new drapery store in the same premises, next door to Charles Clarke's chemist shop in Fitzroy Street. In September 1884 Isambert auctioned off the contents of his drapery store, but retained the Fitzroy Street property, possibly using the building in connection with his wine and spirit dealership, for which he held a Wholesale Spirit Dealer's License 1889-91. He retired in the early 1890s, a few years before his death in 1893.

Following Isambert's death the property passed to trustees and then to his daughter. James Wilson acquired title in July 1910, just over 6 months after acquiring the adjacent stone building. The verandah on the brick and timber building matches in detail the 1910 verandah on the adjacent stone building, and may have been constructed subsequent to Wilson's death in September 1910.

Plumb's Chambers [Nos 84 & 82 Fitzroy Street]

The two buildings had been owned separately until title to both was transferred to James Wilson in 1909-10. In 1914, title to subdivision 1 of allotment 12 (the stone building) and resubdivisions 1 & 2 of subdivision 3 of allotment 12, comprising 15 perches, (the brick and timber building) passed to Warwick bootmaker James Plumb and his family, and at some period after this date both sets of buildings become known as Plumb's Chambers. Plumb was active in the masonic movement, and served as Worshipful Grand Master of St George's Lodge in Warwick. He resided and worked at the Fitzroy Street premises until his death in 1933, and his widow remained there until her death in 1948. It is understood that the present owner acquired the property in 1949. Plumb's Chambers are still used for commercial purposes.


for Chief Executive, Environmental Protection Agency

Date: 14/04/2008

Note: This certificate is valid at the date of issue only.

Page 4 of 7

000165

QUEENSLAND HERITAGE ACT 1992

Certified Copy Of An Entry in the Heritage Register pursuant to Section 33 (1) (a)



Reference: CC710

Description

Plumb's Chambers comprises two distinct buildings situated on the south side of Fitzroy Street overlooking Leslie Park, about half a block west of the corner of Palmerin Street, the main street of Warwick. Across Haig Avenue to the west is the Warwick Police Station [600948] and Court House [600949]. The larger of the Plumb's Chambers buildings is a two-storeyed sandstone structure with single-storey wings to the rear, and a two-storeyed verandah to the street. It has shops to the lower level and residential accommodation above. Across a narrow laneway to the east is a brick building with a narrow timber upper level and similar two-storeyed verandah, with a series of timber outbuildings to the rear.

The larger building is constructed of tooled sandstone blocks laid in ashlar coursing. It has a hipped corrugated iron roof with acroteria to the gutter corners. Penetrating the roof is a sandstone chimney with a cornice and three arched cowls. To the northern or street elevation, the two-storeyed timber verandah which overhangs the footpath, has a skillion roof and boarded ends. Set on stone plinths, the stop-chamfered posts to the lower level are topped with timber cornices, and have a slatted valance above. The upper level balustrade, now clad in fibrous cement sheet appears to have a dowelled balustrade concealed beneath. The posts of the upper level are finished with scrolled timber brackets below the roof beam.

The street elevation at ground level has three separate entries and windows. To the western end is a four-panelled door with tilting fanlight beside a small vertical sliding sashed window. To the centre is a similar door, with "Plumb's Chambers" painted to the fanlight, and a group of three windows beside. To the eastern end is a timber shopfront which angles back to the recessed entry of panelled french doors.

The underside of the verandah is of ripple iron with internal gutters and a moulded plaster cornice at the wall. The verandah is accessed at the upper level by four pairs of glazed french doors. Only the stonework to this street elevation has been painted.

All four sides of the two-storeyed section show cross-plates with tie rods stabilising the upper level. Windows to the side and rear elevations are vertical sliding sashes with projecting stone sills. To the rear is a single-storey skillion wing of stone with a recess clad in weatherboards for a back door and windows. There is a later single-storeyed extension running perpendicular to the remainder, built of rendered masonry and weatherboards with a hipped corrugated steel roof.

Across the laneway to the east is the two-storeyed building with the lower level constructed of brick, and a narrow timber upper level to the street frontage. This upper level is clad in chamfer-boards with a hipped corrugated iron roof and casement windows. To southeast corner is an unpainted brick chimney with corbelled top. Overhanging the footpath is a two-storeyed timber verandah, similar in detail but smaller in proportion to that of the sandstone building. It is partially enclosed with slatted timber blinds.

The lower level is constructed of brick, some sections of which are painted. It is divided into two shops, each with a four-panelled entry door and tilting fanlight, and a large shopfront window (one of which has twelve panes, the other six). The rear section has a double gabled roof and central half-round gutter. To the west side is a brick chimney beside a further entry door. The rear of the building is also divided into two, with a skillion roof over separate boarded entry doors.

To the rear of this property are several outbuildings, including a weatherboard toilet with curved corrugated iron roof, and a chamfer-board garage with a gabled roof.

It has not been possible to date to inspect the interior of either building.

N. Mulholland
For Chief Executive, Environmental Protection Agency

Date: 14/04/2008

Note: This certificate is valid at the date of issue only.

Page 5 of 7

000166

QUEENSLAND HERITAGE ACT 1992

Certified Copy Of An Entry in the Heritage Register pursuant to Section 33 (1) (a)

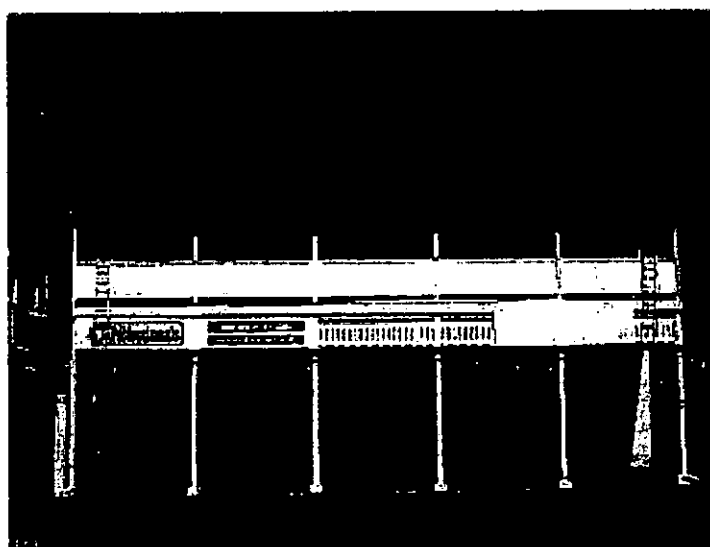
Reference: CC710



Images



1. Plumb's Chambers (1995)



2. Plumb's Chambers (1994)

N. Mitchell
For Chief Executive, Environmental Protection Agency

Date: 14/04/2008

Note: This certificate is valid at the date of issue only.

Page 6 of 7

000167

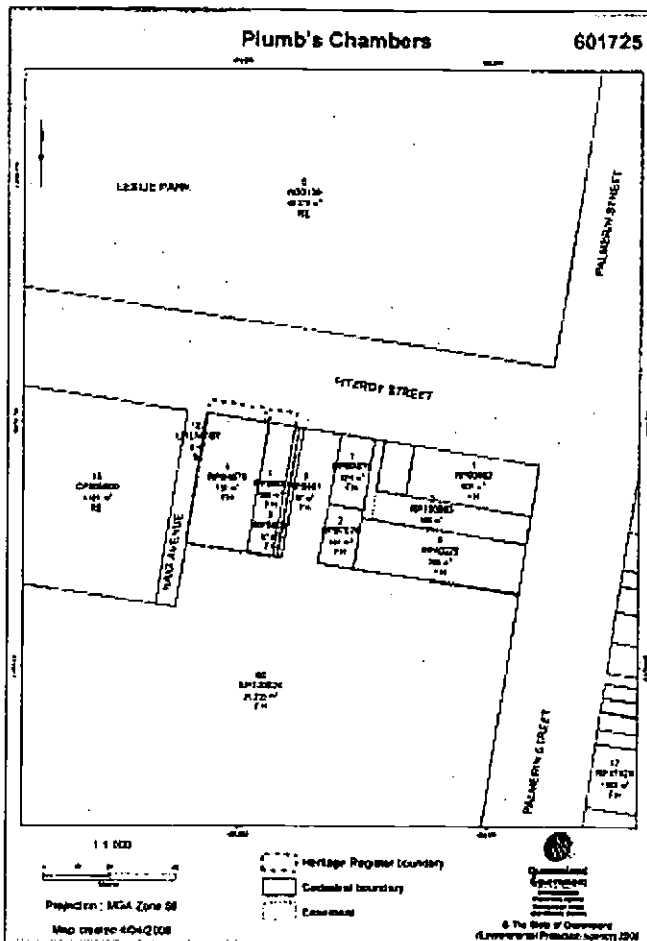
QUEENSLAND HERITAGE ACT 1992

Certified Copy Of An Entry in the Heritage Register pursuant to Section 33 (1) (a)

Reference: CC710



Heritage Register Boundary



Process Statement: Pursuant to the provisions of the Queensland Heritage Act 1992, the Heritage Council has formed the opinion that this is a place of cultural significance which satisfies one or more of the criteria for provisional entry in the Heritage Register and that it is possible for the cultural heritage significance of the place to be conserved.

The decision of the Heritage Council is recorded in the minutes of the Council meeting of 22 November 1996.

Further to the provisions of the Queensland Heritage Act 1992, the Heritage Council resolved to enter the place permanently in the Heritage Register. The decision of the Heritage Council and the consideration of the Assessor's Report is recorded in the minutes of the Council meeting of 26 September 1997.

The place was entered permanently in the Heritage Register on 3 November 1997.

Note: This document has been prepared on the basis of current information, and assessed under the criteria in the Queensland Heritage Act. This document may be reassessed if further evidence becomes available. The statement of significance specifies the most important heritage values of the place. The purpose of this document is to provide an informed evaluation for heritage registration. This does not negate the need for a thorough conservation study by a qualified practitioner, or Cultural Heritage Branch consultation, before any action is taken which may affect the significance of the place.

N. Mulholland
for Chief Executive, Environmental Protection Agency

Date: 14/04/2008

Note: This certificate is valid at the date of issue only.

Page 7 of 7

000168

APPENDIX 2

STRUCTURAL ENGINEER'S REPORT

000169

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40
41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57
58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75
76
77
78
79
80
81
82
83
84
85
86
87
88
89
90
91
92
93
94
95
96
97
98
99
100

Level 3
457 Upper Edward St
SPRING HILL

9 July 2007

PO Box 104
SPRING HILL 4004

207051

TEL 07 38396785
FAX 07 38396799

postmaster@farrengineers.com.au

ABN 50 082 732 630

URBIG JHD
Level 12
120 Edward Street
BRISBANE 4000

Attention: Mr. Adrian Allen

Dear Sir

Re: **Inspection Properties 82 and 84 Fitzroy St. Warwick**

We refer to an inspection carried out at the above property on the 14 May and 29 June 2005 in relation to the existing structural condition, further to a report carried out by Farr Engineers dated 8 October 2005. Our report follows which provides a summary of observations from the original report and comments as to the changes on the building condition from the time of the inspection in 2005 to that observed in the more recent visits.

1

Observations-Building 1 (Western Building)

- 1.1 The building is a 2 storey structure constructed from loadbearing sandstone masonry, possibly brickwork internal masonry, with timber floor and framing approximately 100 years old. More recent additions exist to the rear of the site, comprising single storey timber framed additions. Photo 1.1 1.2 1.3.



Photo 1.1 Front View Oct 2005



Photo 1.2 Rear View Oct 2005



Photo 1.3 West Side View Oct 2005

The external walls have a number of tie rods connected to a cross of fist steel. One such can be seen in Photo 1.3. These generally occur at or adjacent to significant cracking in the external walls.

- 1.2 The ground floor framing is either on or in very close contact with the ground. (Photo 1.4,1.5) . This has led to deterioration of the floor structure and flooring itself through either rot or termite activity.



Photo 1.4



Photo 1.5

- 1.3 It was not able to determine the nature and condition of intermediate supports for the ground floor system between the loadbearing walls. The recent inspection shows further termite infestation which is moving into the interior door architraves. (Photo 1.6)



Photo 1.6 Termite Activity

- 1.4 The external and internal walls exhibit extensive cracking with relative movements both translational and lateral. These cracks appear to coincide with cracking in external walls braced by tie rods referred to in section 1.1. There appears to have been further movement in the external walls between the earlier inspection and the more recent inspections. Photos 1.7 and 1.8 show an increase of approximately 5mm in the width of the same crack in the western wall in the intervening period, and similar photos 1.9 and 1.10 are photos taken almost 2 years apart.



Photo 1.7 Oct 2005 15mm



Photo 1.8 June 2007 20mm



Photo 1.9 East Wall Oct 2005



Photo 1.10 East Wall June 2007

There appeared to be an increase in the bow of the eastern wall on the at the location of the centre tie rod between the time of the two inspections.

- 1.5 Access was not available to view the upper floor framing. Isolated termite damage was evident in skirtings and mouldings. A closer inspection of the upper floor framing involving removal of the ground floor ceilings would be necessary to ensure the stability and competency of the supporting members. However, the gaps between the floor and the walls are significant. Photos 1.11 1.12. Concern exists as to the support of the floor framing if this movement continues.



Gaps between floor and western wall
 Photo 1.11 June 2007



Photo 1.12 June 2007

- 1.6 Access was gained to the roof space. The roof framing is timber battens, rafters, underpurlins and ceiling framing. Photo 1.13 1:14. There did not appear to be any significant change in the condition of the roof framing.



Photo 1.13 Oct 2005



Photo 1.14 June 2007

The upper floor front verandah is in a deteriorated state, with rotten boarding and joists. The balcony rails are in poor condition. The roof framing comprising rafters spanning from the stone walls to timber bearers in reasonable condition, but the walling shows signs of movement (Photo 1.15 1.16). There is further deterioration in the condition of the balcony.



Photo 1.15 Oct 2005



Photo 1.16 Oct 2005

All internal walls are cracked where they adjoin external walls, with crack widths of 15-25mm in width occur in a number of instances, and cracking over windows and doors is extensive.. (Photos 1.17 -1.20)



Photo 1.17 June 2007



Photo 1.18 June 2007

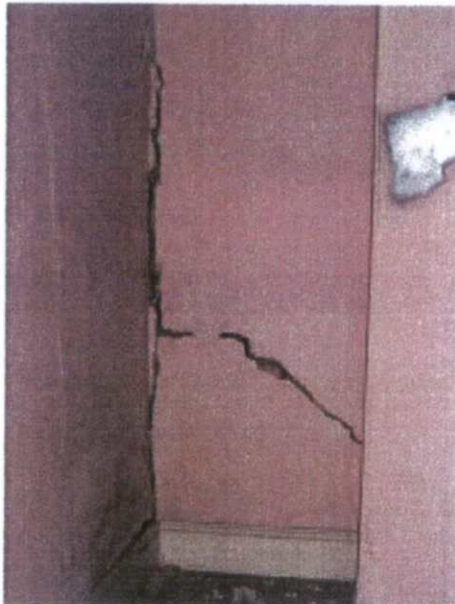


Photo 1.19 June 2007



Photo 1.20 June 2007

- 1.7 Rising damp affects the majority of the lower floor walls. Photo 1.21 1.22



Photo 1.21



Photo 1.22

- 1.8 The newer rear addition is of timber framing on a slab-on-ground. The condition of this structure is reasonable.



Photo 1.3 Rear Newer Building from rear yard June 2007

2

Observations-Building 2 (Eastern Building)

- 2.1 The eastern building is a brick masonry and timber framed structure on indeterminate age. The lower floor wall framing is masonry, with the upper floor of predominately timber framing. (Photos 2.1 2.2) Access could not be gained to the lower floor in June 2007 to assess the current condition.



Photo 2.1 Oct 2005



Photo 2.2 Oct 2005

- 2.2 The lower floor is very unstable with extensive areas of collapsing floor framing, rotten floor boards and joists, leaving movement on the floor dangerous. Photos 2.3, 2.4 show examples.



Photo 2.3 Oct 2005



Photo 2.4 Oct 2005

- 2.3 Evidence abounds of termite and rot damage in walls skirtings and mouldings. Photos 2.5 2.6

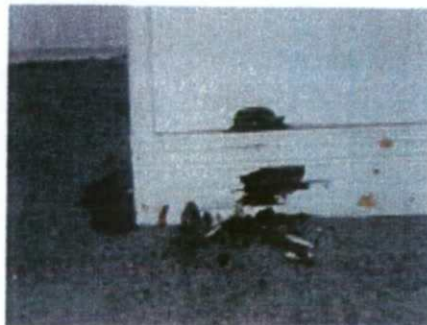


Photo 2.5 Oct 2005



Photo 2.6 Oct 2005

2.4 The rear verandah framing is on the verge of collapse Photo 2.7, 2.8.



Photo 2.7 June 2007



Photo 2.8 June 2007

2.5 Similarly to the western building, it was not possible to obtain access to the upper floor framing. However rotten floorboards and skirtings point to the risk of damage in the framing from termite and rot damage. The roof framing was not able to be accessed either. Similar comments apply.

2.6 Walls show significant damage from rising damp. Photos 2.9-2.10.



Photo 2.9 Oct 2005



Photo 2.10 Oct 2005

3

Comments- Western Building

- 3.1 As previously reported, the western building has two significant structural issues. Firstly, the deterioration of the lower floor framing indicates that it is likely given the lack of access that the entire ground floor framing needs to be replaced. Given the lack of sub-floor space and ventilation, the use of a slab-on-ground would be indicated. However, this would not necessarily fix the possibility of termite infestation in the upper floors which appears to be active, nor the rising damp in the walls. Both these issues would require the installation of some form of moisture and physical barrier full width in the walls to provide a habitable space.
- 3.2 Secondly, the stability of the external walls has obviously been an issue for some period of time, with the use of through wall ties and restraints to attempt to at least maintain some stability in the walls. The comment was made in the October 2005 report that "... a change in the foundation support conditions (for example wetting up or drying out of support soils) has the capacity to dramatically change the situation with respect to the structural condition of the wall quite quickly." The spate of dry weather in the intervening period is appearing to continue the deterioration in the stability of the side walls, and the evidence of further movement requires a more urgent review of the stability of these walls, and the installation of protection to third parties person and property to guard against the damage from the possibility of collapse of the walls. The previously installed anchor rods across the width of the building are becoming ineffective in preventing outward movement in the walls as cracking in the walls occurs either side of the ties, allowing lateral movement in the bulk of the wall each side of the anchors.
- 3.3 The root cause of the cracking in the walls appears to be foundation movement, with the existing foundations laid on weak and probably reactive ground, which has settled and been subject to changing moisture conditions over the years. This has resulted in significant differential movements in the walls, causing the observed cracking. The most alarming is along the western wall, where there are clear indications of significant outward relative displacements of part of the wall (Photo 1.8) of up to 25mm in the upper storey, and an increase in 5mm approximately from the earlier inspection in October 2005. This observed wall movement (which exists in all the internal and external walls to a greater or lesser degree) can only really be arrested by complete underpinning of the building foundations to a deeper more competent and less reactive strata. However, the risk to interfering with the footings with the wall stability in the current state would be perilous without a full temporary shoring system supporting the wall.
- 3.4 We are now of the view that the structural integrity of the walls is so compromised that urgent measures need to be instituted to protect third parties from the effects of a possible collapse of the wall, or demolition of the building is required. If similar movements were observed in a more modern building, actions would have been already taken to protect against potential damage to third party assets and person.
- 3.5 If termite protection and damp and waterproofing is achieved by repairing the two major structural issues outlined in 3.1 and 3.2, then work would be required to ascertain the likely damage that has occurred in the upper floor framing. This would entail removal of all the lower floor ceilings in order to be able to properly view the condition of the upper floor framing.
- 3.6 As previously stated, effective management of stormwater runoff from roofs and rear yards would be important to maintain constant moisture conditions in the foundation soils.

4

Comments - Eastern Building

- 4.1 As outlined in the October 2005 report, the eastern building has a lower floor framing which is unsafe in its current condition. Furthermore the significant rising damp in the walls means the total value of carrying out repair work is called into question. Deterioration evident in the upper floorboards requires a full examination from the underside of the framing members by removing the existing ceiling.
- 4.2 The roof framing of the single storey section to the rear is water affected and rotten to a large degree, and would require re-roofing after first repairing rotten and termite affected members. The roof of the upper storey is likely to be in similar condition. The existing building services are ancient and would require a complete upgrade to conform to modern standards.
- 4.3 The October 2005 report concluded that "The building is essentially at the end of its structural life and is little more than a demolition exercise." This report concurs with that view.

5

Conclusions

- 5.1 The structural condition western building gives rise to significant concern about the stability of the side walls, and the condition of the lower floor framing. The rising damp in the walls, coupled with the rot and termite damage means that a significant amount of work is required to reinstata the building to a serviceable condition. The external walls should be provided with external support to resist potential collapse and measures should be taken to protect third parties from consequential effects of collapse of the subject walls, or a full demolition of the building ordered.
- 5.2 The recommendation contained in the October 2005 report that "It is considered that the eastern building is in such a poor structural state that little can be achieved short of a complete gutting of the existing timber frame and total reconstruction." is considered to be still relevant.

We trust the above report provides the information you require at this stage. Please contact the undersigned if any further information is required.

Yours Sincerely
Farr Engineers Associates Pty. Ltd.



A.C. Farr

Cd Thomson Asset

Part 4 **Matters about registration of
State heritage places in
Queensland heritage register**

Division 1 **Criteria for entry in register as State
heritage place**

34 **Criteria for entry in register**

- (a) the place is important in demonstrating the evolution or pattern of Queensland's history;
 - (b) the place demonstrates rare, uncommon or endangered aspects of Queensland's cultural heritage;
 - (c) the place has potential to yield information that will contribute to an understanding of Queensland's history;
 - (d) the place is important in demonstrating the principal characteristics of a particular class of cultural places;
 - (e) the place is important because of its aesthetic significance;
 - (f) the place is important in demonstrating a high degree of creative or technical achievement at a particular period;
 - (g) the place has a strong or special association with a particular community or cultural group for social, cultural or spiritual reasons;
 - (h) the place has a special association with the life or work of a particular person, group or organisation of importance in Queensland's history.
- (2) A place is not to be excluded from the Queensland heritage register on the ground that places with similar characteristics have already been entered in the register.

** Please note, under the recently amended Heritage Act of July 1 2008, this section is now Part 4, Division 1, Section 35.

APPENDIX 4

BURRA CHARTER DEFINITIONS

Definitions	Explanatory Notes
For the purpose of this Charter:	These notes do not form part of the Charter and may be added to by Australia ICOMOS.
1.1 <i>Place</i> means site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.	The concept of place should be broadly interpreted. The elements described in Article 1.1 may include memorials, trees, gardens, parks, places of historical events, urban areas, towns, industrial places, archaeological sites and spiritual and religious places.
1.2 <i>Cultural significance</i> means aesthetic, historic, scientific, social or spiritual value for past, present or future generations. Cultural significance is embodied in the <u>place</u> itself, its <u>fabric</u> , <u>setting</u> , <u>use</u> , <u>associations</u> , <u>meanings</u> , <u>records</u> , <u>related places</u> and <u>related objects</u> . Places may have a range of values for different individuals or groups.	The term cultural significance is synonymous with heritage significance and cultural heritage value. Cultural significance may change as a result of the continuing history of the place. Understanding of cultural significance may change as a result of new information.
1.3 <i>Fabric</i> means all the physical material of the <i>place</i> including components, fixtures, contents, and objects.	Fabric includes building interiors and sub-surface remains, as well as excavated material. Fabric may define spaces and these may be important elements of the significance of the place.
1.4 <i>Conservation</i> means all the processes of looking after a <i>place</i> so as to retain its <i>cultural significance</i> .	
1.5 <i>Maintenance</i> means the continuous protective care of the <i>fabric</i> and <i>setting</i> of a <i>place</i> , and is to be distinguished from repair. Repair involves <i>restoration</i> or <i>reconstruction</i> .	The distinctions referred to, for example in relation to roof gutters, are maintenance, regular inspection and cleaning of gutters; repair involving restoration, returning of dislodged gutters; repair involving reconstruction, replacing decayed gutters.
1.6 <i>Preservation</i> means maintaining the <u>fabric</u> of a <u>place</u> in its existing state and retarding deterioration.	It is recognised that all places and their components change over time at varying rates.
1.7 <i>Restoration</i> means returning the existing <i>fabric</i> of a <i>place</i> to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.	
1.8 <i>Reconstruction</i> means returning a <i>place</i> to a known earlier state and is distinguished from <i>restoration</i> by the introduction of new material into the <i>fabric</i> .	New material may include recycled material salvaged from other places. This should not be to the detriment of any place of cultural significance.

- 1.9 *Adaptation* means modifying a *place* to suit the existing use or a proposed use.
- 1.10 *Use* means the functions of a *place*, as well as the activities and practices that may occur at the *place*.
- 1.11 *Compatible use* means a *use* which respects the *cultural significance* of a *place*. Such a *use* involves no, or minimal, impact on cultural significance.
- 1.12 *Setting* means the area around a *place*, which may include the visual catchment.
- 1.13 *Related place* means a *place* that contributes to the *cultural significance* of another *place*.
- 1.14 *Related object* means an object that contributes to the *cultural significance* of a *place* but is not at the *place*.
- 1.15 *Associations* mean the special connections that exist between people and a *place*.
- 1.16 *Meanings* denote what a *place* signifies, indicates, evokes or expresses.
- 1.17 *Interpretation* means all the ways of presenting the *cultural significance* of a *place*.

Associations may include social or spiritual values and cultural responsibilities for a *place*.

Meanings generally relate to intangible aspects such as symbolic qualities and memories.

Interpretation may be a combination of the treatment of the fabric (e.g. maintenance, restoration, reconstruction); the use of and activities at the *place*; and the use of introduced explanatory material

APPENDIX 5

HEROC WEBSITE EXCERPT ON ACCESS

www.hreoc.gov.au/disability_rights/faq/Access/access.html#heritage

Does the DDA apply to heritage buildings?

Yes. Registration or claim of heritage value in a building or other items does not create an exemption from the DDA and is not in itself a defence.

As shown by decisions under the DDA to date, however, heritage issues can be taken into account in determining whether barriers to access are unreasonable (which is one of the elements required before a finding can be made of indirect discrimination), and can also be taken into account in relation to the defence of unjustifiable hardship where this applies. (See the summaries of complaint termination decisions under the DDA.)

If alterations to premises to provide full and equitable access would involve the destruction or removal of significant heritage value, in some circumstances making these alterations could be found to involve unjustifiable hardship. Analysed another way, failure to remove the barriers concerned by making these alterations might be found not to involve any unreasonable condition or requirement.

This does not mean that heritage concerns will be accepted as outweighing the need to provide equal access in any particular case. Organisations which occupy or are responsible for heritage buildings need to ensure that they have looked closely at alternative means of providing equal access which are not prevented by heritage considerations. This may include:

- taking advice from experts or organisations with relevant expertise on sympathetic means of altering heritage premises to provide access
- where the premises are used to provide goods or services, identifying alternative or supplementary means of providing access to those services, to reduce the effect of limitations in access to the premises in excluding people from access to the goods or services concerned.

If heritage buildings are not readily and economically able to be modified to provide equitable access, then unless the heritage value of the building is an essential part of the business, consideration should be given to moving to alternative premises better suited to modern requirements including disability access. This is particularly the case for persons or organisations administering Commonwealth Government laws or programs where the defence of unjustifiable hardship does not apply.

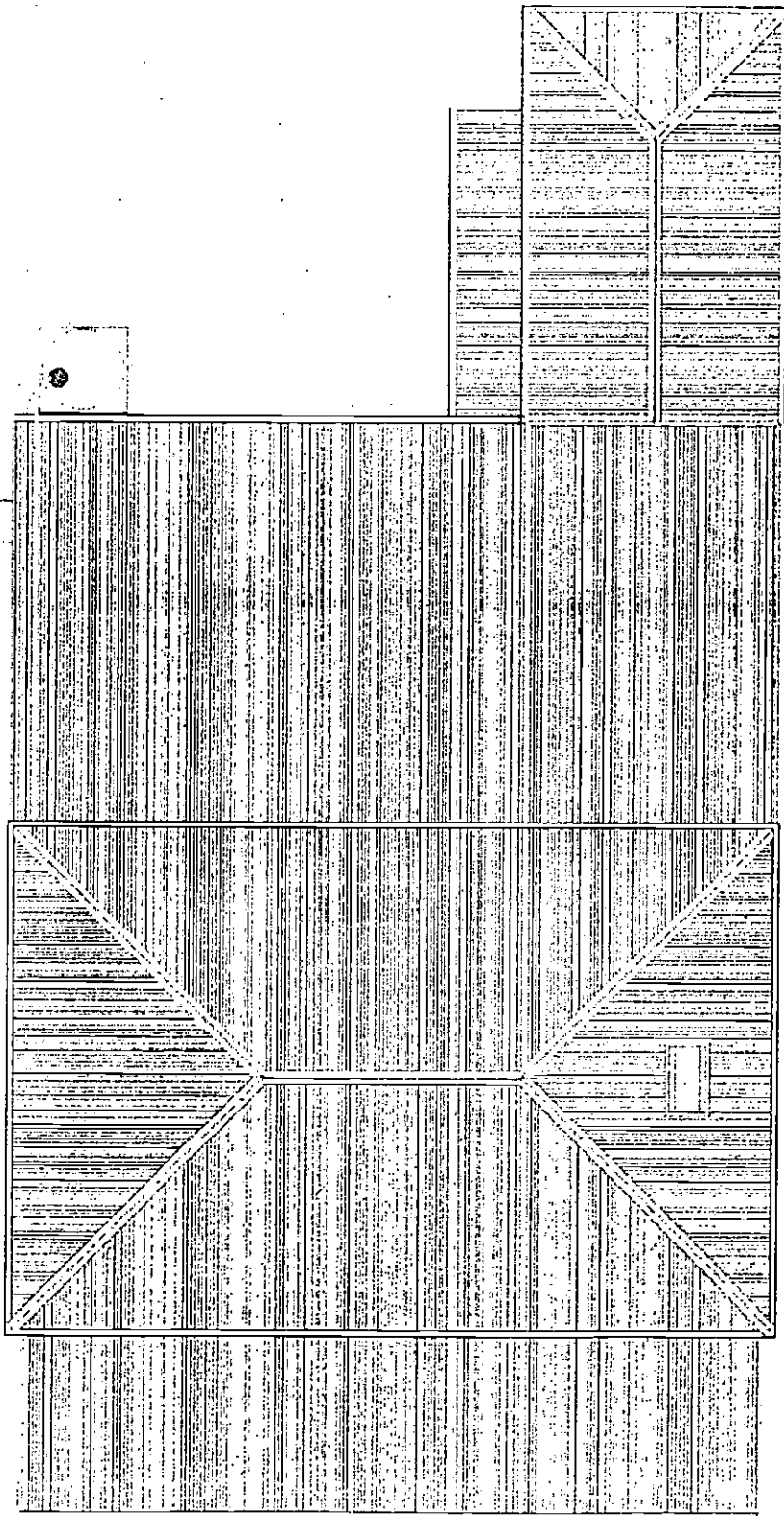
It should be remembered that the main purpose of a building open to the public and used by government or business is to serve the public - which both in law and in fact includes people with disabilities. Heritage values which might justify preservation of a building do not necessarily justify modern business or government activities being conducted there. After all, the heritage value of premises which failed to meet modern human rights standards in other respects - such as gallows or inhumanely small and dark cells - may require the preservation of the premises, but would not be argued as requiring or justifying their continued use for their original purpose.

APPENDIX 6

As existing Drawings – 84 Fitzroy St

Reduced Scale, 1:100 @ A3

000184



Site
1:100

PRELIMINARY

Scale: 1:100
 Project No: 080401A
 Design: ALW
 Designer: AE 01-A
 Date: June 2008
 Issue: A

Existing Title
 Roof Plan

Project Name
 84 Fitzroy St Warwick
 As Existing Drawings
 For the MacConochy Group

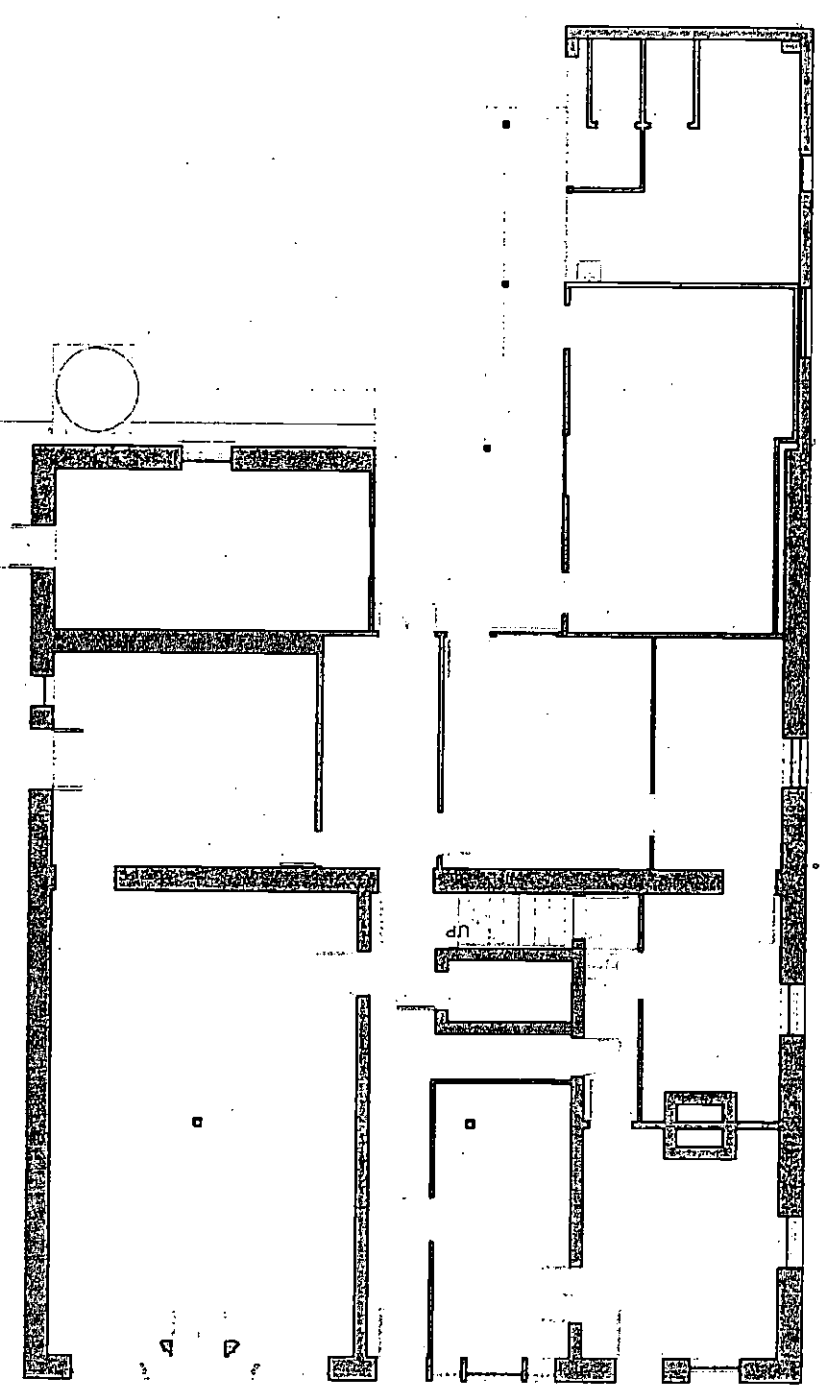
Project Address
 PO Box 2173
 Warwick NSW 2615
 Telephone: 07 328 6663
 Fax: 07 328 6664
 www.watsonarchitects.com.au
 info@watsonarchitects.com.au

Watson Architects Pty. Ltd. AUSTRALIA - 21 014 592



Watson Architects Pty. Ltd. is a registered company in New South Wales.
 All drawings are the property of Watson Architects Pty. Ltd. and are not to be used without the written consent of Watson Architects Pty. Ltd.

000183



1
Ground Floor

Project No: 100
 Date: ALW
 Project Name: (8)140-A
 Issue: AE 02-A
 Date: June 2005
 Issue: A

Drawing Title:
 Ground Floor

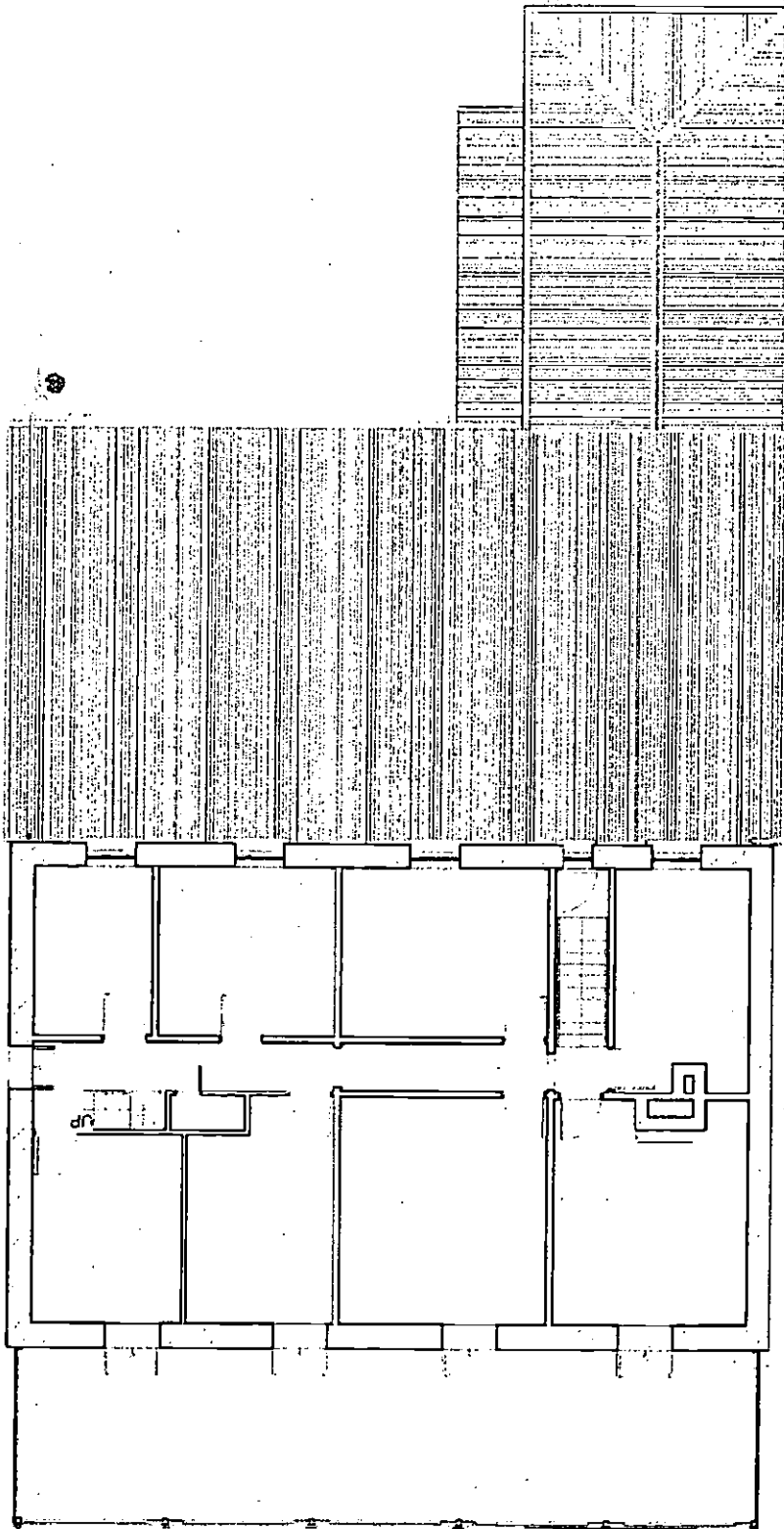
Project Information:
 84 Fildes St Warwick
 As-Existing Drawings
 Design Group

Drawn by:
 Checked by:
 Date: 22/06/05
 Project No: 100

watsonarchitects
 design sustain conserve

Watson Architects Ltd
 100 Fildes Street, Warwick, CV34 4JF
 Tel: 01926 710000
 Fax: 01926 710001
 Email: info@watsonarchitects.co.uk

000186



1
1st Floor

1 of 1

PRELIMINARY

Scale	1:100	Project	ALW	Date	June 2008
Project No.	090471A	Drawn by	AE 03-A	Issue	A

Project No. 090471A
84 Fitzroy St Warwick
As-Existing Drawings
For the McCaughy Group

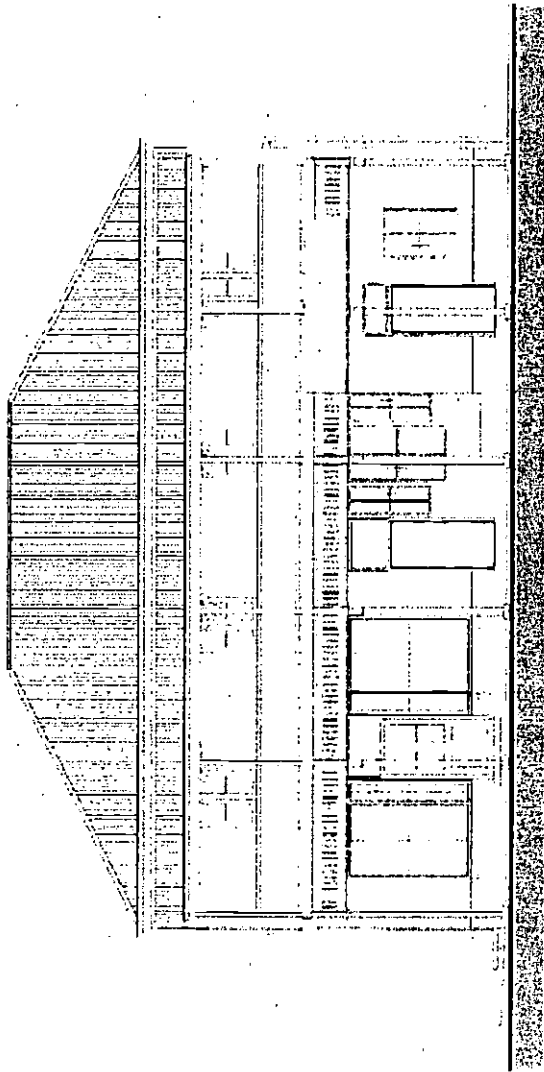
Project Title: 84 Fitzroy St Warwick
As-Existing Drawings
For the McCaughy Group

Watson Architects
84 Fitzroy St Warwick
CV34 6EF
Telephone: 01927 278 000
Facsimile: 01927 278 006
www.watsonarchitects.com
enquiries@watsonarchitects.com

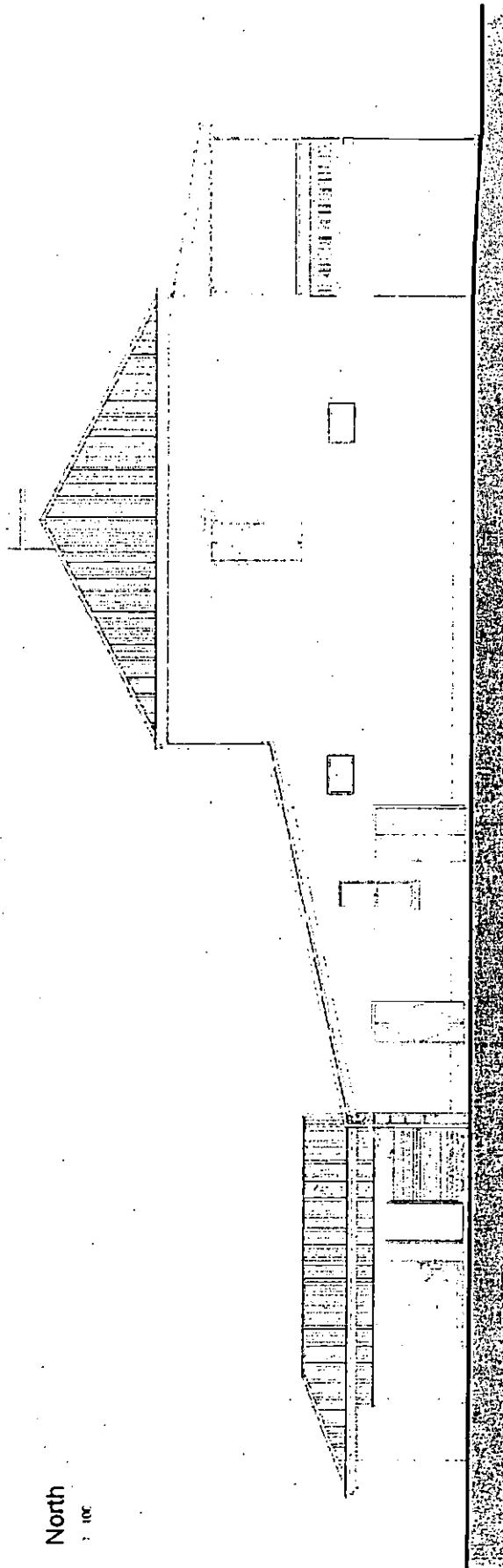
watsonarchitects
design sustain conserve

Watson Architects is a limited liability company registered in England and Wales. Registered office: 84 Fitzroy St, Warwick, CV34 6EF. Registered in England and Wales No. 04541111. VAT No. 251 241 512.

000187



2 North
1/100



1 East
1/100

000188

Watson Architects
design sustain conserve

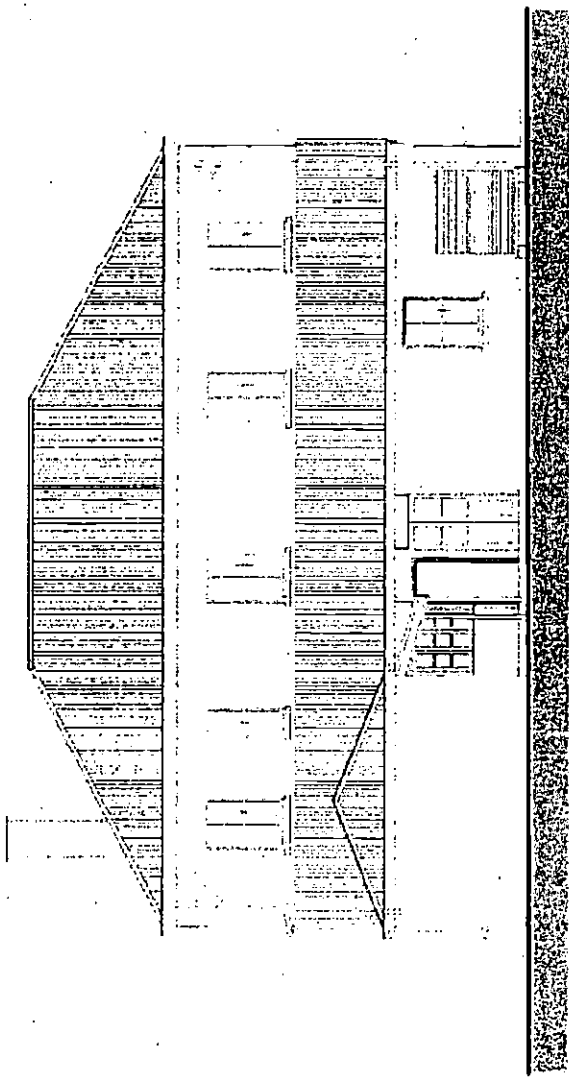
Watson Architects
design sustain conserve

Public Office
84 Fitzroy St Warwick
Architectural Drawings
Architect Group

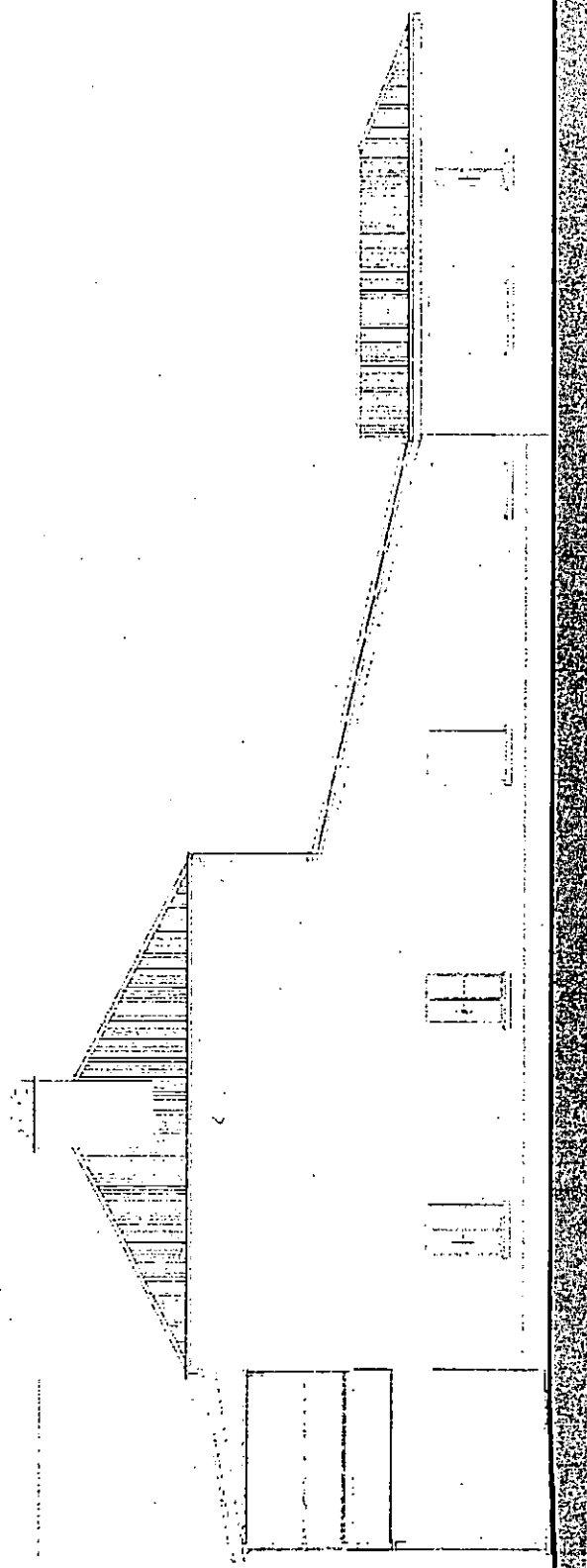
Public Office
84 Fitzroy St Warwick
Architectural Drawings
Architect Group

Scale
1:100
Project No.
000401A

Issue
June 2008
Issue
AE 04-A
A



1 South
1:100



2 West
1:100

PROJECT INFORMATION

Scale	1:100	Drawn	ALW	Issue	June 2008
Project No.	080401A	Drawn by	AE 05-A	Issue	A

Drawing Title
Elevations

Project Title / Client
84 Fitzroy St Warwick
As Existing Drawings
For the MacConarty Group

Architects
Watson Architects
PO Box 2173
Geelong East VIC 3240
Telephone 07 5252 6003
Facsimile 07 5252 6004
www.watsonarchitects.com.au
info@watsonarchitects.com.au

watsonarchitects
design sustain conserve

00018
© Watson Architects Pty. Ltd. All Rights Reserved.
This drawing is the property of Watson Architects Pty. Ltd.
It is not to be used for any other purpose without the written consent of Watson Architects Pty. Ltd.